



**A:** Level 8, 80 Dorcas Street, Southbank VIC 3006  
**P:** +61 3 9867 5551                      **F:** +61 3 9867 4451  
**E:** contact@ABMorison.com.au      **W:** www.ABMorison.com.au

#### **VENDORS STATEMENT TO THE PURCHASER OF REAL ESTATE**

<b>SELLER</b>	<b>COLIN JAMES PARKES</b>
<b>LAND BEING SOLD</b>	Being the said lot/s as described in the Contract of Sale, on the proposed plan of subdivision <b>PS915302H or PS915302H/S2</b> and being part of the land described in <b>Certificate of Title VOLUME 11955 FOLIO 139; VOLUME 11955 FOLIO 140; VOLUME 11955 FOLIO 141 and VOLUME 11955 FOLIO 142</b> and known as
<b>STREET ADDRESS</b>	The said Lot, <b>19 Station Road, Gembrook VIC 3783</b>

#### **IMPORTANT NOTICES TO PURCHASERS**

**1. MATTERS RELATING TO LAND USE** - Information concerning any easement, covenant, charge or other similar restriction affecting the property (registered or unregistered) if any are set out in the documents attached.

- a) Description: Registered covenant instrument no. PD804664Q as per title search and/ or attachments
- b) Particulars of any existing failure to comply with their terms are:- **None to the Vendor's knowledge**

However please note that underground electricity cables, sewers or drains may be laid outside registered easements without the vendor's knowledge.

There **is** access to the property by road.

The land **is not** in a bushfire prone area.

The purchaser should make their own enquiries about whether structures are constructed over easements prior to signing as the property is sold subject to all easements, encumbrances, covenants, leases and restrictions (if any) and the purchaser, in signing this vendors statement acknowledges they shall make no claim or requisition regarding these matters.

Any mortgage (whether registered or unregistered) shall be discharged (unless otherwise agreed between the parties in the contract of sale) before the purchaser becomes entitled to possession or the rents and profits of the property

Information concerning any planning instrument -

Name of planning instrument:	See attached property report
The responsible authority is:	See attached property report

Zoning and/or Reservation: See attached property report  
Name of Planning overlay: See attached property report

The property is sold subject to the restrictions contained in the planning scheme, regulations, any order or legislation and the purchaser shall not be entitled to make any objection to the vendor, nor seek compensation from the vendor regarding these restrictions.

## **2. FINANCIAL MATTERS IN RESPECT OF THE LAND**

Information concerning the amount of annual rates, taxes, charges and other similar outgoings affecting the property and interest (if any) payable thereon (including any Owners Corporation Charges and Interest) are contained in the attached certificates or their total does not exceed: **\$5,500.00**

1. Cardinia Shire Council
2. Yarra Valley Water
3. Owners Corporation PS915302H / PS915302H/S2
4. State Revenue Office Land Tax (if applicable)

Any further amounts (including any proposed Owners Corporation Levy) for which the Purchaser may become liable as a consequence of the purchase of the property are as follows:

1. Owners Corporation (if applicable) special levies
2. Land Tax if the property is not exempt as your principal place of residence
3. Annual increases in all outgoings if you purchase this property in the next rating period after this vendors statement was prepared.

The particulars of any Charge (whether registered or not) over the property imposed by or under any Act to secure an amount due under that Act are as follows: **If any as contained in the attached certificates and searches.**

## **3. SERVICES:**

The following services are **not connected** to the land:

- a) Electricity
- b) Gas
- c) Water
- d) Sewerage
- e) Telephone

Purchasers should check with the appropriate authorities as to the availability of, and the cost of providing, any essential services not connected to the land. It is the responsibility of the purchaser to pay all costs to transfer or reconnect the services you require.

## **4. INFORMATION RELATING TO ANY OWNERS CORPORATION-**

The land is subject to the proposed plan of subdivision being registered and the said land may be affected by one or more Owners Corporation., A copy of the current Owners Corporation Certificate and documents required to accompany the Owners Corporation Certificate under section 151(4)(b) (if applicable) will be provided to the purchaser prior to settlement.

## **5. EVIDENCE OF TITLE-** Attached are copies of the following document/s concerning Title:

- (a) In the case of land under the Transfer of Land Act 1958, a copy of the Register Search Statement and the document, or part of the document, referred to as the diagram location in the Register Search Statement that identifies the land and its location;
- (b) In any other case, a copy of-
  - I. The last conveyance in the chain of title to the land; or
  - II. Any other document which gives evidence of the vendor's title to the land;
- (c) If the vendor is not the registered proprietor of the land or the owner of the estate in fee simple in the land, evidence of the vendor's right or power to sell the land;

- (d) In the case of land that is subject to a subdivision-
  - I. If the plan of subdivision has not been registered, a copy of the plan of subdivision which has been certified by the relevant municipal council; or
  - II. If the plan of subdivision has not yet been certified, a copy of the latest version of the plan;
- (e) In the case of land that is part of a staged subdivision within the meaning of Section 37 of the Subdivision Act 1988-
  - I. If the land is in the second or a subsequent stage, a copy of the plan for the first stage; and
  - II. Details of any requirements in a statement of compliance relating to the stage in which the land is included that have not been complied with; and
  - III. Details of any proposals relating to subsequent stages that are known to the vendor; and
  - IV. A statement of the contents of any permit under the Planning and Environment Act 1987 authorising the staged subdivision
- (f) In the case of land that is subject to a subdivision and in respect of which a further plan within the meaning of the Subdivision Act 1988 is proposed-
  - I. If the later plan has not been registered, a copy of the plan which has been certified by the relevant municipal council; or
  - II. If the later plan has not yet been certified , a copy of the latest version of the plan

**6. BUILDING PERMITS-** Particulars of any building permit issued in the past seven years under the Building Act 1993 (where the property includes a residence):

Is contained in the attached.

**7. INSURANCE DETAILS IN RESPECT OF THE LAND-** The contract provides that the land remains at the risk of the vendor before the purchaser is entitled to possession or receipts of rents and profits.

If there is a residence on the land which was constructed within the preceding 6 years by the vendor as an owner builder and which section 137B of the Building Act 1993 applies to the residence the required insurance details are attached.

The vendor makes no representations that the building and structures comply with all relevant statutes and local regulations. It is the purchaser's responsibility to make their own enquiries before entering in to a contract of sale to ensure they comply and shall not be entitled to make any objection, claim any compensation or require the vendor to perform any act due to a failure for the structures to comply with any regulation.

**8. NOTICES MADE IN RESPECT OF LAND-** Particulars of any notice, order, declaration, report or recommendation of a public authority or government department or approved proposal directly and currently affecting the land that the vendor might reasonably be expected to have knowledge are contained in certificates herein if applicable.

Whether there are any notices, property management plans, reports or order in respect of the land issued by a government department or public authority in relation to livestock disease or contamination by agricultural chemicals affecting the ongoing use of the land for agricultural purposes are contained in certificates herein if applicable.

Whether there are any notices pursuant to Section 6 of the Land Acquisition and Compensation Act 1986 are contained in certificates herein if applicable.





## REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 11955 FOLIO 139

Security no : 124103951578H  
Produced 15/02/2023 10:04 AM

### LAND DESCRIPTION

Lot 1 on Plan of Subdivision 804664Q.  
PARENT TITLE Volume 09585 Folio 144  
Created by instrument PS804664Q 08/02/2018

### REGISTERED PROPRIETOR

Estate Fee Simple  
Sole Proprietor  
COLIN JAMES PARKES of 321 KOORNANG ROAD CARNEGIE, VIC 3163  
PS804664Q 08/02/2018

### ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AN057344M 30/08/2016  
NATIONAL AUSTRALIA BANK LTD

COVENANT PS804664Q 08/02/2018

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

### DIAGRAM LOCATION

SEE PS804664Q FOR FURTHER DETAILS AND BOUNDARIES

### ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 19 STATION ROAD GEMBROOK VIC 3783

### ADMINISTRATIVE NOTICES

NIL

eCT Control 16089P NATIONAL AUSTRALIA BANK LTD  
Effective from 08/02/2018

### OWNERS CORPORATIONS

The land in this folio is affected by  
OWNERS CORPORATION 1 PLAN NO. PS804664Q

## **REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958**

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Page 2 of 2

DOCUMENT END

## REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 2

VOLUME 11955 FOLIO 140

Security no : 124103951529L  
Produced 15/02/2023 10:02 AM

### LAND DESCRIPTION

Lot 2 on Plan of Subdivision 804664Q.  
PARENT TITLE Volume 09585 Folio 144  
Created by instrument PS804664Q 08/02/2018

### REGISTERED PROPRIETOR

Estate Fee Simple  
Sole Proprietor  
COLIN JAMES PARKES of 321 KOORNANG ROAD CARNEGIE, VIC 3163  
PS804664Q 08/02/2018

### ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AN057344M 30/08/2016  
NATIONAL AUSTRALIA BANK LTD

COVENANT PS804664Q 08/02/2018

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

### DIAGRAM LOCATION

SEE PS804664Q FOR FURTHER DETAILS AND BOUNDARIES

### ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 19A STATION ROAD GEMBROOK VIC 3783

### ADMINISTRATIVE NOTICES

NIL

eCT Control 16089P NATIONAL AUSTRALIA BANK LTD  
Effective from 08/02/2018

### OWNERS CORPORATIONS

The land in this folio is affected by  
OWNERS CORPORATION 1 PLAN NO. PS804664Q  
OWNERS CORPORATION 2 PLAN NO. PS804664Q



## **REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958**

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Page 2 of 2

DOCUMENT END

## REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 11955 FOLIO 141

Security no : 124103951697D  
Produced 15/02/2023 10:07 AM

### LAND DESCRIPTION

Lot 3 on Plan of Subdivision 804664Q.  
PARENT TITLE Volume 09585 Folio 144  
Created by instrument PS804664Q 08/02/2018

### REGISTERED PROPRIETOR

Estate Fee Simple  
Sole Proprietor  
COLIN JAMES PARKES of 321 KOORNANG ROAD CARNEGIE, VIC 3163  
PS804664Q 08/02/2018

### ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AN057344M 30/08/2016  
NATIONAL AUSTRALIA BANK LTD

COVENANT PS804664Q 08/02/2018

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

### DIAGRAM LOCATION

SEE PS804664Q FOR FURTHER DETAILS AND BOUNDARIES

### ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 19B STATION ROAD GEMBROOK VIC 3783

### ADMINISTRATIVE NOTICES

NIL

eCT Control 16089P NATIONAL AUSTRALIA BANK LTD  
Effective from 08/02/2018

### OWNERS CORPORATIONS

The land in this folio is affected by  
OWNERS CORPORATION 1 PLAN NO. PS804664Q  
OWNERS CORPORATION 2 PLAN NO. PS804664Q

## **REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958**

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Page 2 of 2

DOCUMENT END

## REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 11955 FOLIO 142  
No Coft exists

Security no : 124103951992H  
Produced 15/02/2023 10:14 AM

### LAND DESCRIPTION

Common Property 1 on Plan of Subdivision 804664Q.  
PARENT TITLE Volume 09585 Folio 144  
Created by instrument PS804664Q 08/02/2018

### REGISTERED PROPRIETOR

Estate Fee Simple  
Sole Proprietor

OWNERS CORPORATION 1 PLAN NO. PS804664Q of 321 KOORNANG ROAD CARNEGIE VIC  
3163  
PS804664Q 08/02/2018

### ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances affecting Common Property that are derived from an  
encumbrance shown on titles to lots affected by the Owners Corporation.

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section  
24 Subdivision Act 1988 and any other encumbrances shown or entered on the  
plan set out under DIAGRAM LOCATION below.

### DIAGRAM LOCATION

SEE PS804664Q FOR FURTHER DETAILS AND BOUNDARIES

### ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

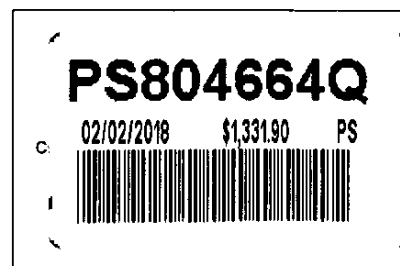
Street Address: STATION ROAD GEMBROOK VIC 3783

### OWNERS CORPORATIONS

The land in this folio is affected by  
OWNERS CORPORATION 1 PLAN NO. PS804664Q  
OWNERS CORPORATION 2 PLAN NO. PS804664Q

DOCUMENT END

**Subdivision or consolidation**  
**Section 22 Subdivision Act 1988**



Lodged by **CONSULT SOLICITORS**  
Name: ~~DANIEL JOSEPH HIRSH~~  
Phone: (03) 9593 8211  
Address: 392 ST KILDA ROAD ST KILDA VIC 3182  
Reference: 2018102  
Customer code: 1593L

The applicant applies for registration of the plan.

Land: (volume and folio)

VOLUME 9585 FOLIO 144

Applicant: (full name and address, including postcode)

COLIN JAMES PARKES OF 321 KOORNANG ROAD CARNEGIE VIC 3163

Plan no.: PS804664Q      SPEAR no.: (if applicable)S091827V      Stage no.: (if applicable)

Council in which land is located: CARDINIA SHIRE COUNCIL

Signing:

A handwritten signature in black ink, appearing to be 'C. Parkes', written over a horizontal line.

35271702A

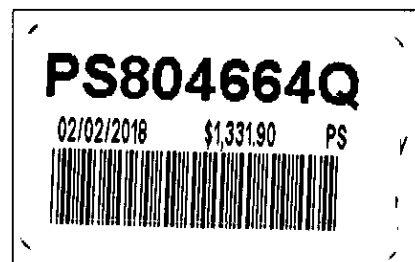
22SA

Page 1 of 2

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Land Use Victoria contact details: [www.delwp.vic.gov.au/property](http://www.delwp.vic.gov.au/property)>Contact us

**Subdivision or consolidation**  
**Section 22 Subdivision Act 1988**



**Certifications**

- 1.The Certifier has taken reasonable steps to verify the identity of the applicant.
- 2.The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
- 3.The Certifier has retained the evidence supporting this Registry Instrument or Document.
- 4.The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant legislation and any Prescribed Requirement.

Executed on behalf of COLIN JAMES PARKES  
Signer Name DANIEL JOSEPH HIRSH  
Signer Organisation CONSULT SOLICITORS  
Signer Role AUSTRALIAN LEGAL PRACTITIONER  
Signature   
Execution Date 01/02/2018

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35271702A

22SA

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Land Use Victoria contact details: [www.delwp.vic.gov.au/property](http://www.delwp.vic.gov.au/property)>Contact us



# Imaged Document Cover Sheet


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Document Type	<b>Plan</b>
Document Identification	<b>PS804664Q</b>
Number of Pages (excluding this cover sheet)	<b>4</b>
Document Assembled	<b>15/02/2023 18:56</b>

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The document is invalid if this cover sheet is removed or altered.

<b>PLAN OF SUBDIVISION</b>		LV use only <b>EDITION 1</b>	<b>PS 804664Q</b>	
<p style="text-align: center;"><b>Location of Land</b></p> <p><b>Parish:</b> GEMBROOK  <b>Township:</b> -  <b>Section:</b> -  <b>Crown Allotment:</b> A 17 (PART)  <b>Crown Portion:</b> -  <b>Title Reference:</b> VOL. 9585 FOL. 144</p> <p><b>Last Plan Reference:</b> LOT 1 ON LP126087</p> <p><b>Postal Address:</b> 19 STATION ROAD  (at time of subdivision) GEMBROOK</p> <p><b>MGA Co-ordinates</b> E 371 860      <b>Zone: 55</b>  (of approx. centre of land in plan) N 5 798 760      <b>GDA 94</b></p>		<p>Council Name: Cardinia Shire Council</p> <p>Council Reference Number: S16/202  Planning Permit Reference: T160605  SPEAR Reference Number: S091827V</p> <p>Certification</p> <p>This plan is certified under section 6 of the Subdivision Act 1988</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 of the Subdivision Act 1988 has been made and the requirement has not been satisfied  has been made and the requirement has been satisfied at Statement of Compliance (Document updated 21/12/2017)</p> <p>Digitally signed by: Jessie Guyomar for Cardinia Shire Council on 20/12/2017</p> <p>Statement Of Compliance issued: 21/12/2017</p>		
<b>Vesting of Roads and/or Reserves</b>		<b>Notations</b>		
Identifier	Council/Body/Person	<p>COMMON PROPERTY No. 1 IS ALL THE LAND IN THE PLAN EXCEPT LOTS 1 to 3 (BOTH INCLUSIVE)</p> <p>LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE OWNERS CORPORATIONS. For details of Owners Corporation(s) including; purpose, responsibility and entitlement and liability, see Owners Corporation search report, Owners Corporation rules and Owners Corporation additional information.</p>		
NIL	NIL			
<b>Notations</b>		<p><b>Depth Limitation</b> DOES NOT APPLY</p> <p style="text-align: center;"><b>THIS IS A SPEAR PLAN</b></p> <p><b>Staging</b> This <del>is</del> is not a staged subdivision  Planning Permit No.</p> <p><b>Survey</b> This plan is <del>is not</del> based on survey</p> <p>This survey has been connected to permanent marks no(s)  In Proclaimed Survey Area No.</p>		
<b>Notations</b>				
<b>Depth Limitation</b> DOES NOT APPLY				
<b>Easement Information</b>				
<p><b>Legend:</b> E – Encumbering Easement, Condition in Crown Grant in the Nature of an Easement or Other Encumbrance      A – Appurtenant Easement  R – Encumbering Easement (Road)</p>				
<b>Easements &amp; Rights implied by Section 12(2) of the Subdivision Act 1988 apply to the whole of the land in this plan.</b>				
Subject Land	Purpose	Width (metres)	Origin	Land Benefited/In Favour Of
E-1 E-2	DRAINAGE CARRIAGEWAY	2 5	THIS PLAN THIS PLAN	CARDINIA SHIRE COUNCIL LOTS IN THIS PLAN
<b>LAND DIMENSIONS</b>		<b>SURVEYORS FILE REF: 16216S-E</b>		ORIGINAL SHEET SIZE: A3
 A.C.N. 129 548 054 Level 1 Suite 2 327 Police Road, Mulgrave Tel: (03) 9790 0399 www.landdimensions.net.au		Digitally signed by: Jay Lyndon Barfoot (Land Dimensions Pty Ltd), Surveyor's Plan Version (E), 09/11/2017, SPEAR Ref: S091827V		SHEET 1 OF 4 SHEETS  <b>PLAN REGISTERED</b> TIME: 10:32am    DATE: 8/02/2018 JFM Assistant Registrar of Titles





CREATION OF A RESTRICTION

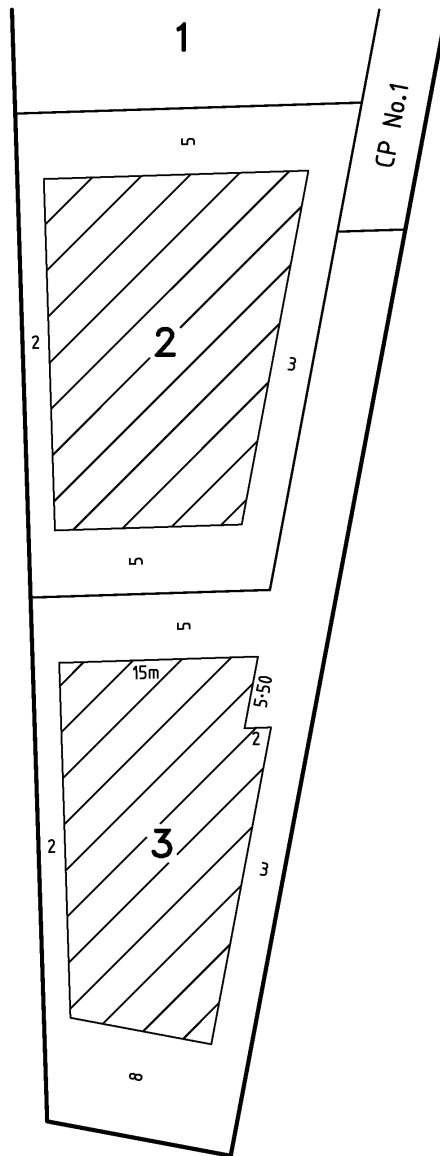
The following restriction is to be created upon registration of this plan.

Land to benefit: Lots 1, 2 & 3 on this plan

Land to be burdened: Lots 2 & 3 on this plan

Description of the restriction:

No building or part of a building may be constructed outside of the building envelope without the further written consent from the Responsible Authority.



**PS 804664Q**

CREATION OF A RESTRICTION

The following restriction is to be created upon registration of this plan.

Land to benefit: Lots 1, 2 & 3 on this plan

Land to be burdened: Lots 1 & 2 on this plan

Description of the restriction:

The fencing along the eastern boundary of lots 1 & 2 is to be restricted to post and wire rural fencing except with the written consent of the Responsible Authority.

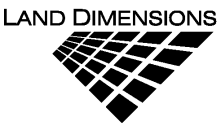
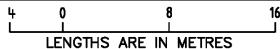
The following restriction is to be created upon registration of this plan.

Land to benefit: Lots 1, 2 & 3 on this plan

Land to be burdened: Lots 1, 2 & 3 on this plan

Description of the restriction:

Only one driveway shall be constructed, of all weather construction of crushed rock or other permeable surface and to allow a load limit of 15 tonnes, within the carriageway easement.

	A.C.N. 129 548 054 Level 1 Suite 2 327 Police Road, Mulgrave Tel: (03) 9790 0399 www.landdimensions.net.au	SCALE <b>1:400</b>		ORIGINAL SHEET SIZE: A3	SHEET 4
	Digitally signed by: Jay Lyndon Barfoot (Land Dimensions Pty Ltd), Surveyor's Plan Version (E), 09/11/2017, SPEAR Ref: S091827V		Digitally signed by: Cardinia Shire Council, 20/12/2017, SPEAR Ref: S091827V		



# Department of Environment, Land, Water & Planning

## Owners Corporation Search Report

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Produced: 15/02/2023 06:56:07 PM

**OWNERS CORPORATION 1**  
**PLAN NO. PS804664Q**

The land in PS804664Q is affected by 2 Owners Corporation(s)

### Land Affected by Owners Corporation:

Common Property 1, Lots 1 - 3.

### Limitations on Owners Corporation:

Unlimited

### Postal Address for Services of Notices:

321 KOORNANG ROAD CARNEGIE VIC 3163

OC038192A 08/02/2018

### Owners Corporation Manager:

NIL

### Rules:

Model Rules apply unless a matter is provided for in Owners Corporation Rules. See Section 139(3) Owners Corporation Act 2006

### Owners Corporation Rules:

NIL

### Additional Owners Corporation Information:

OC038192A 08/02/2018

### Notations:

Only the members of Owners Corporation 2 are entitled to use Common Property No. 1.

### Entitlement and Liability:

NOTE – Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Common Property 1	0	0
Lot 1	100	100
Lot 2	100	100
Lot 3	100	100
<b>Total</b>	<b>300.00</b>	<b>300.00</b>

From 31 December 2007 every Body Corporate is deemed to be an Owners Corporation. Any reference to a Body Corporate in any Plan, Instrument or Folio is to be read as a reference to an Owners Corporation.



# Department of Environment, Land, Water & Planning

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## Owners Corporation Search Report

Produced: 15/02/2023 06:56:07 PM

**OWNERS CORPORATION 1**  
**PLAN NO. PS804664Q**

Statement End.

# PLANNING CERTIFICATE

Official certificate issued under Section 199 Planning & Environment Act 1987  
and the Planning and Environment Regulations 2005

## CERTIFICATE REFERENCE NUMBER

907338

## APPLICANT'S NAME & ADDRESS

AB MORISON C/- LANDATA  
DOCKLANDS

## VENDOR

PARKES, COLINE

## PURCHASER

PARKES, COLINE

## REFERENCE

DT60467

This certificate is issued for:

LOT 1 PLAN PS804664 ALSO KNOWN AS 19 STATION ROAD GEMBROOK  
CARDINIA SHIRE

The land is covered by the:

CARDINIA PLANNING SCHEME

The Minister for Planning is the responsible authority issuing the Certificate.

The land:

- is included in a NEIGHBOURHOOD RESIDENTIAL ZONE - SCHEDULE 1
- is within a VEGETATION PROTECTION OVERLAY - SCHEDULE 2
- and a DESIGN AND DEVELOPMENT OVERLAY - SCHEDULE 2
- and a SIGNIFICANT LANDSCAPE OVERLAY - SCHEDULE 1

A detailed definition of the applicable Planning Scheme is available at :

<http://planningschemes.dpcd.vic.gov.au/schemes/cardinia>

Historic buildings and land protected under the Heritage Act 1995 are recorded in the Victorian Heritage Register at:

<http://vhd.heritage.vic.gov.au/>

Additional site-specific controls may apply.  
The Planning Scheme Ordinance should be checked carefully.

The above information includes all amendments to planning scheme maps placed on public exhibition up to the date of issue of this certificate and which are still the subject of active consideration

Copies of Planning Schemes and Amendments can be inspected at the relevant municipal offices.

LANDATA®

T: (03) 9102 0402

E: [landata.enquiries@servictoria.com.au](mailto:landata.enquiries@servictoria.com.au)

15 February 2023

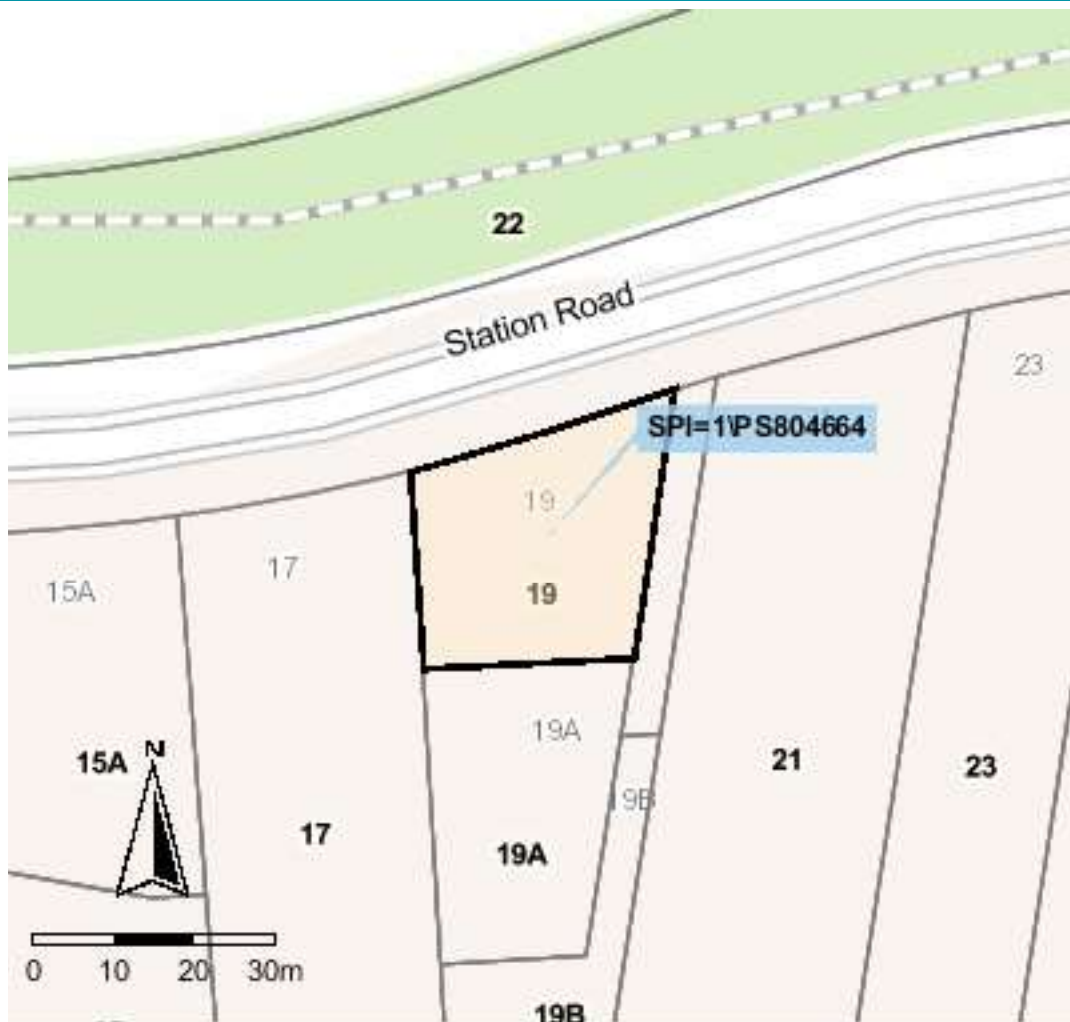
**Sonya Kilkenny**  
Minister for Planning

The attached certificate is issued by the Minister for Planning of the State of Victoria and is protected by statute.

The document has been issued based on the property information you provided. You should check the map below - it highlights the property identified from your information.

If this property is different to the one expected, you can phone (03) 9102 0402 or email [landata.enquiries@servictoria.com.au](mailto:landata.enquiries@servictoria.com.au)

**Please note: The map is for reference purposes only and does not form part of the certificate.**



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### Choose the authoritative Planning Certificate

#### *Why rely on anything less?*

As part of your section 32 statement, the authoritative Planning Certificate provides you and / or your customer with the statutory protection of the State of Victoria.

Order online before 4pm to receive your authoritative Planning Certificate the same day, in most cases within the hour. Next business day delivery, if further information is required from you.

### Privacy Statement

The information obtained from the applicant and used to produce this certificate was collected solely for the purpose of producing this certificate. The personal information on the certificate has been provided by the applicant and has not been verified by LANDATA®. The property information on the certificate has been verified by LANDATA®. The zoning information on the certificate is protected by statute. The information on the

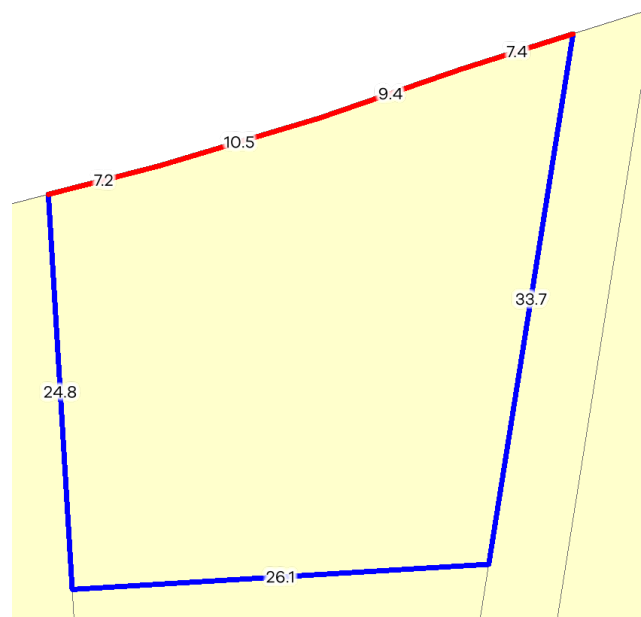
## PROPERTY DETAILS

Address: **19 STATION ROAD GEMBROOK 3783**  
Lot and Plan Number: **Lot 1 PS804664**  
Standard Parcel Identifier (SPI): **1\PS804664**  
Local Government Area (Council): **CARDINIA**  
Council Property Number: **5000024683**  
Directory Reference: **Melway 312 H9**

[www.cardinia.vic.gov.au](http://www.cardinia.vic.gov.au)

## SITE DIMENSIONS

All dimensions and areas are approximate. They may not agree with those shown on a title or plan.



**Area:** 837 sq. m

**Perimeter:** 119 m

For this property:

— Site boundaries

— Road frontages

Dimensions for individual parcels require a separate search, but dimensions for individual units are generally not available.

Calculating the area from the dimensions shown may give a different value to the area shown above

For more accurate dimensions get copy of plan at [Title and Property Certificates](#)

## UTILITIES

Rural Water Corporation: **Southern Rural Water**  
Melbourne Water Retailer: **Yarra Valley Water**  
Melbourne Water: **Inside drainage boundary**  
Power Distributor: **AUSNET**

## STATE ELECTORATES

Legislative Council: **EASTERN VICTORIA**  
Legislative Assembly: **MONBULK**

## PLANNING INFORMATION

Property Planning details have been removed from the Property Reports to address duplication with the Planning Property Reports which are DELWP's authoritative source for all Property Planning information.

The Planning Property Report for this property can found here - [Planning Property Report](#)

Planning Property Reports can be found via these two links

**Vicplan** <https://mapshare.vic.gov.au/vicplan/>

**Property and parcel search** <https://www.land.vic.gov.au/property-and-parcel-search>



## Area Map





\*\*\*\* Delivered by the LANDATA® System, Department of Environment, Land, Water & Planning \*\*\*\*

## ROADS PROPERTY CERTIFICATE

The search results are as follows:

AB Morison  
Level 8 80 Dorcas Street  
SOUTHBANK 3006

Client Reference: DT60467

NO PROPOSALS. As at the 15th February 2023, VicRoads has no approved proposals requiring any part of the property described in your application. You are advised to check your local Council planning scheme regarding land use zoning of the property and surrounding area.

This certificate was prepared solely on the basis of the Applicant-supplied address described below, and electronically delivered by LANDATA®.

19 STATION ROAD, GEMBROOK 3783  
SHIRE OF CARDINIA

This certificate is issued in respect of a property identified above. VicRoads expressly disclaim liability for any loss or damage incurred by any person as a result of the Applicant incorrectly identifying the property concerned.

Date of issue: 15th February 2023

Telephone enquiries regarding content of certificate: 13 11 71

**[Vicroads Certificate] # 67913146 - 67913146185742 'DT60467'**

# Extract of EPA Priority Site Register

Page 1 of 2



\*\*\*\* Delivered by the LANDATA® System, Department of Environment, Land, Water & Planning \*\*\*\*

## PROPERTY INQUIRY DETAILS:

STREET ADDRESS: 19 STATION ROAD

SUBURB: GEMBROOK

MUNICIPALITY: CARDINIA

MAP REFERENCES: Melways 40th Edition, Street Directory, Map 312 Reference H9

DATE OF SEARCH: 15th February 2023

## PRIORITY SITES REGISTER REPORT:

A search of the Priority Sites Register for the above map references, corresponding to the address given above, has indicated that this site is not listed on, and is not in the vicinity of a site listed on the Priority Sites Register at the above date.

## IMPORTANT INFORMATION ABOUT THE PRIORITY SITES REGISTER:

You should be aware that the Priority Sites Register lists only those sites for which:

Priority Sites are sites for which EPA has issued a:

- Clean Up Notice pursuant to section 62A) of the Environment Protection Act 1970
- Pollution Abatement Notice pursuant to section 31A or 31B (relevant to land and/or groundwater) of the Environment Protection Act 1970
- Environment Action Notice pursuant to Section 274 of the Environment Protection Act 2017
- Site Management Order (related to land and groundwater) pursuant to Section 275 of the Environment Protection Act 2017
- Improvement Notice (related to land and groundwater) pursuant to Section 271 of the Environment Protection Act 2017
- Prohibition Notices (related to land and groundwater) pursuant to Section 272 of the Environment Protection Act 2017 on the occupier or controller of the site to require active management of these sites, or where EPA believes it is in the community interest to be notified of a potential contaminated site and this cannot be communicated by any other legislative means. Sites are removed from the Priority Sites Register once all conditions of a Notice have been complied with.

The Priority Sites Register does not list all sites known to be contaminated in Victoria. A site should not be presumed to be free of contamination just because it does not appear on the Priority Sites Register. Persons intending to enter into property transactions should be aware that many properties may have been contaminated by past land uses and EPA may not be aware of the presence of contamination. EPA has published information advising of potential contaminating land uses. Council and other planning authorities hold information about previous land uses, and it is advisable that such sources of information should also be consulted.

The Environment Protection Authority does not warrant the accuracy or completeness

[Extract of Priority Sites Register] # 67913146 - 67913146185742  
'DT60467'



## Extract of EPA Priority Site Register

\*\*\*\* Delivered by the LANDATA® System, Department of Environment, Land, Water & Planning \*\*\*\*

of information in this Extract and any person using or relying upon such information does so on the basis that the Environment Protection Authority shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in the information. Users of this site accept all risks and responsibilities for losses, damages, costs and other consequences resulting directly or indirectly from use of this site and information from it. To the maximum permitted by law, the EPA excludes all liability to any person directly or indirectly from using this site and information from it.

For sites listed on the Priority Sites Register, a copy of the relevant Notice, detailing the reasons for issue of the Notice, and management requirements, is available on request from EPA through the contact centre (details below). For more information relating to the Priority Sites Register, refer to the EPA website at: <https://www.epa.vic.gov.au/for-community/environmental-information/land-groundwater-pollution/priority-sites-register>

Environment Protection Authority Victoria  
200 Victoria Street  
Carlton VIC 3053  
1300 EPA VIC (1300 372 842)

LAND INFORMATION CERTIFICATE  
SECTION 121 LOCAL GOVERNMENT ACT 2020  
LOCAL GOVERNMENT (LAND INFORMATION)  
REGULATIONS 2021



AB Morison c/LANDATA  
DX 250639  
Melbourne

CERTIFICATE NO: 73655  
APPLICANT REFERENCE: 67913146-021-4  
DATE: 20/02/2023

This certificate PROVIDES information regarding valuations, rates, charges, other moneys owing and any orders and notices made under the Local Government Act 2020, the Local Government Act 1989, the Local Government Act 1958 or under a local law or by law of the Council.

This certificate IS NOT REQUIRED to include information regarding planning, building, health, land fill, land slip, other flooding information or service easements. Information regarding these matters may be available from Council or the relevant Authority.

A fee may be charged for such information.

<b>ASSESSMENT NO:</b>	5000024683	<b>VALUATIONS</b>	
<b>PROPERTY LOCATION:</b>	19 Station Rd	<b>SITE VALUE:</b>	415000
	Gembrook 3783	<b>CAPITAL IMPROVED VALUE:</b>	520000
<b>TITLE DETAILS:</b>	L1 PS804664 V11955 F139	<b>NET ANNUAL VALUE:</b>	26000
		<b>LEVEL OF VALUE DATE:</b>	01/01/22
		<b>OPERATIVE DATE:</b>	01/07/22

**PROPERTY RATES & CHARGES**

Rates and charges for the financial year ending 30 June 2023

<u>RATES &amp; CHARGES</u>	<u>LEVIED</u>	<u>BALANCE</u>
ARREARS BROUGHT FORWARD		\$0.00
RATES	\$1,177.28	\$589.46
INTEREST		\$0.00
MUNICIPAL CHARGE	\$0.00	\$0.00
FIRE SERVICES PROPERTY LEVY	\$144.56	\$72.28
GARBAGE	\$326.80	\$163.40
GREEN WASTE LEVY	\$129.00	\$64.50

**SPECIAL RATES /SPECIAL CHARGES**

SCHEME NAME	ESTIMATED AMOUNT	PRINCIPAL BALANCE	INTEREST BALANCE
		\$0.00	\$0.00
		<b>TOTAL SCHEME BALANCE</b>	<b>\$0.00</b>

**OPEN SPACE CONTRIBUTION**

**TOTAL OUTSTANDING** **\$889.64**



<b>Bill code:</b>	858944
<b>Reference:</b>	50000246830

**Station Rd/Anzac St/Heroes Ave/Innes Rd Special Charge Scheme - Road Construction**  
**Declared 18/10/2021- Estimated cost \$7,000**

**LAND INFORMATION CERTIFICATE  
SECTION 121 LOCAL GOVERNMENT ACT 2020  
LOCAL GOVERNMENT (LAND INFORMATION)  
REGULATIONS 2021**

19 Station Rd  
Gembrook  
L1 PS804664 V11955 F139

---

**NOTICES AND ORDERS**

Other Notices or Orders on the land that have been served by Council under the Local Government Act 2020, the Local Government Act 1989, the Local Government Act 1958 or Local Law of the Council, which have a continuing application as at the date of this certificate if any

---

**OPEN SPACE CONTRIBUTION**

Any outstanding amount required to be paid for recreational purposes or any transfer of land required to Council for recreational purposes under Section 18 of the Subdivision of Land Act 1988 or the Local Government Act 1958:

---

**FLOOD LEVEL**

A flood level has not been designated under the Building Regulations 1994.  
Advice on whether a flood level has been determined, which affects the property, should be sought from Melbourne Water.

---

**POTENTIAL LIABILITIES**

Notices and Orders issued as described above:

Other:


---

**ADDITIONAL INFORMATION**

In accordance with Section 175 of the Local Government Act a person who becomes the owner of rateable land must pay any rate or charge on the land which is due and payable at the time the person becomes the owner of the land.

---

I acknowledge having received the sum of \$27.80 being the fee for this certificate.

Delegated Officer: .....

---

**CONFIRMATION OF ANY VARIATION TO THIS CERTIFICATE WILL ONLY BE GIVEN FOR 90 DAYS AFTER ISSUE DATE.  
PAYMENTS MADE BY CHEQUE ARE SUBJECT TO CLEARANCE FROM THE BANK.**

20th February 2023

AB MORISON CONVEYANCING  
AB Morison Conveyancing

Dear AB MORISON CONVEYANCING,

**RE: Application for Water Information Statement**

<b>Property Address:</b>	19 STATION ROAD GEMBROOK 3783
<b>Applicant</b>	AB MORISON CONVEYANCING AB Morison Conveyancing
<b>Information Statement</b>	30750660
<b>Conveyancing Account Number</b>	5689580000
<b>Your Reference</b>	DT60467

Thank you for your recent application for a Water Information Statement (WIS). We are pleased to provide you the WIS for the above property address. This statement includes:

- Yarra Valley Water Property Information Statement
- Melbourne Water Property Information Statement
- Asset Plan
- Rates Certificate

If you have any questions about Yarra Valley Water information provided, please phone us on **1300 304 688** or email us at the address [enquiry@yvw.com.au](mailto:enquiry@yvw.com.au). For further information you can also refer to the Yarra Valley Water website at [www.yvw.com.au](http://www.yvw.com.au).

Yours sincerely,



Steve Lennox  
GENERAL MANAGER  
RETAIL SERVICES

## Yarra Valley Water Property Information Statement

Property Address	19 STATION ROAD GEMBROOK 3783
------------------	-------------------------------

STATEMENT UNDER SECTION 158 WATER ACT 1989

### **THE FOLLOWING INFORMATION RELATES TO SECTION 158(3)**

Existing sewer mains will be shown on the Asset Plan.

### **THE FOLLOWING INFORMATION RELATES TO SECTION 158(4)**

Provision of a sewerage service to your property is scheduled to occur via Yarra Valley Water's Backlog Sewerage Program. For information on when this area will be seweraged, call our Customer Contact Centre on 1300 304 688 or visit our website [www.yvw.com.au](http://www.yvw.com.au). Upon sewer becoming available for connection, the property owner will be subject to a \$500 contribution under section 268 and 269 of the Water Act 1989. Connection of the property to sewer is required within 12 months of the service becoming available unless the existing septic system meets the current EPA Onsite Wastewater Management requirements. Connection must be made at the owner's expense.

This property is located within a pressure sewer area. Yarra Valley Water will be responsible for providing a pressure sewer pump unit to the property including all associated plumbing and electrical works. The owner will be responsible for all internal plumbing works between the pressure sewer pumping unit and the house. Prior to connection, the owner must agree to terms and conditions contained within the document titled Using Your Pressure Sewer System - Owners Manual. Copies of this document are available upon request by calling 1300 304 688 or can be downloaded from our website at [www.yvw.com.au](http://www.yvw.com.au).

This property is connected to a pressure sewer system. As such, it is subject to special terms and conditions which are contained within the document titled "Your Pressure Sewer System - An Owners Guide". Copies of this document are available upon request by calling 1300 304 688 or can be downloaded from our website at [www.yvw.com.au/pressureguide](http://www.yvw.com.au/pressureguide)

This property is connected to a pressure sewer system. As such, it is subject to special terms and conditions which are contained within the document titled "Your Pressure Sewer System - An Owners Guide". Copies of this document are available upon request by calling 1300 304 688 or can be downloaded from our website at [www.yvw.com.au/pressureguide](http://www.yvw.com.au/pressureguide)

Please note: Unless prior consent has been obtained, the Water Act prohibits:



1. The erection and/or placement of any building, wall, bridge, fence, embankment, filling, material, machinery or other structure over or under any sewer or drain.
2. The connection of any drain or sewer to, or interference with, any sewer, drain or watercourse.

## **Melbourne Water Property Information Statement**

Property Address	19 STATION ROAD GEMBROOK 3783
------------------	-------------------------------

STATEMENT UNDER SECTION 158 WATER ACT 1989

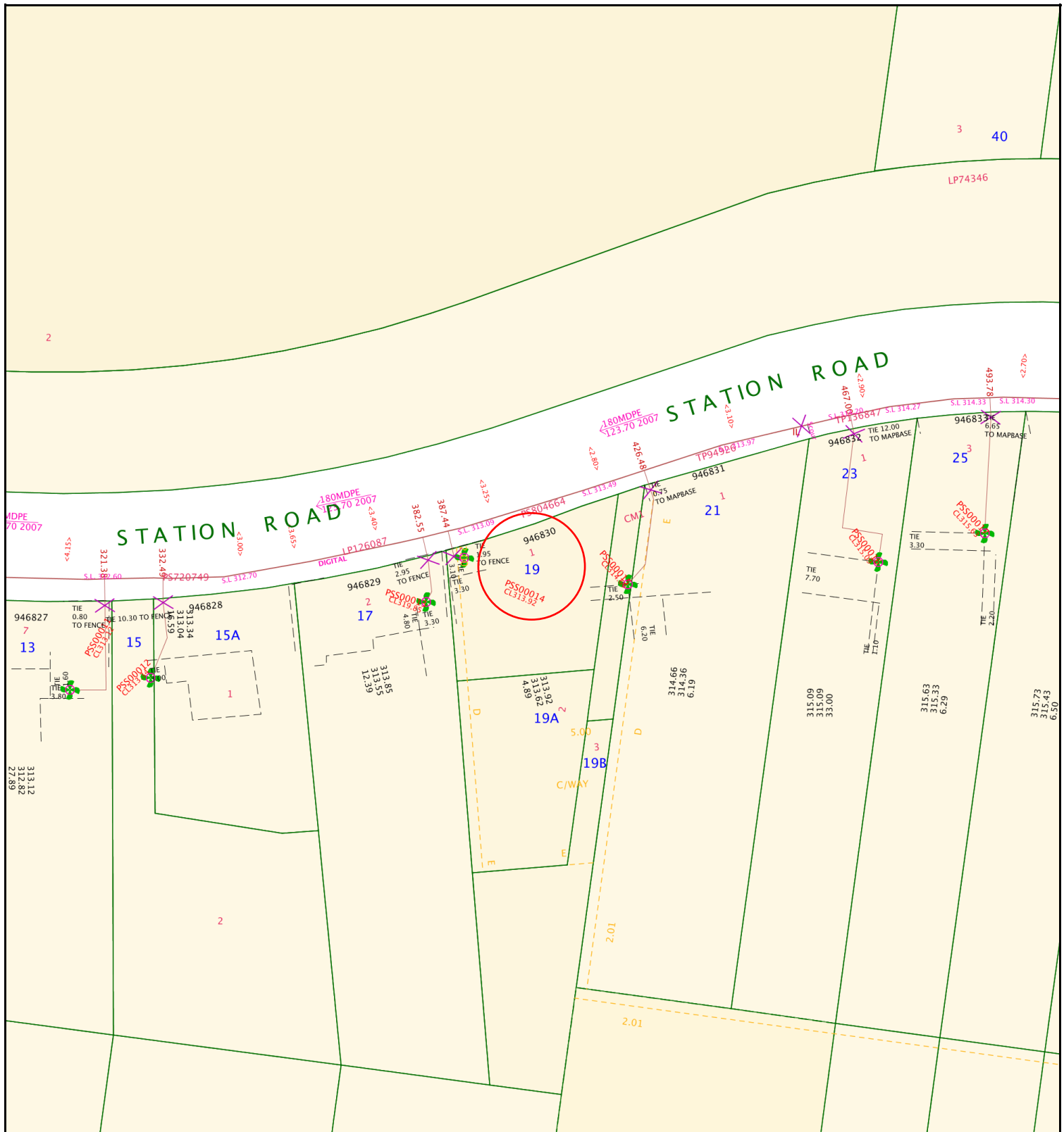
### **THE FOLLOWING INFORMATION RELATES TO SECTION 158(4)**

Information available at Melbourne Water indicates that this property is not subject to flooding from Melbourne Water's drainage system, based on a flood level that has a probability of occurrence of 1% in any one year.

Please note: Unless prior consent has been obtained, the Water Act prohibits:

1. The erection and/or placement of any building, wall, bridge, fence, embankment, filling, material, machinery or other structure over or under any sewer or drain.
2. The connection of any drain or sewer to, or interference with, any sewer, drain or watercourse.

If you have any questions regarding Melbourne Water encumbrances or advisory information, please contact Melbourne Water on 9679 7517.



**Yarra Valley Water  
Information Statement  
Number: 30750660**

<b>Address</b>	19 STATION ROAD GEMBROOK 3783	
<b>Date</b>	20/02/2023	
<b>Scale</b>	1:1000	

**Yarra Valley Water**  
ABN 93 066 902 501

Existing Title		Access Point Number		GLV2-42	MW Drainage Channel Centreline	
Proposed Title		Sewer Manhole			MW Drainage Underground Centreline	
Easement		Sewer Pipe Flow			MW Drainage Manhole	
Existing Sewer		Sewer Offset		<1.00>	MW Drainage Natural Waterway	
Abandoned Sewer		Sewer Branch				

**Disclaimer:** This information is supplied on the basis Yarra Valley Water Ltd:  
 - Does not warrant the accuracy or completeness of the information supplied, including, without limitation, the location of Water and Sewer Assets;  
 - Does not accept any liability for loss or damage of any nature, suffered or incurred by the recipient or any other persons relying on this information;  
 - Recommends recipients and other persons using this information make their own site investigations and accommodate their works accordingly;

AB MORISON CONVEYANCING  
AB Morison Conveyancing  
quennie@abmorison.com.au

## RATES CERTIFICATE

Account No: 4249415387  
Rate Certificate No: 30750660

Date of Issue: 20/02/2023  
Your Ref: DT60467

With reference to your request for details regarding:

Property Address	Lot & Plan	Property Number	Property Type
19 STATION RD, GEMBROOK VIC 3783	1\PS804664	5172419	Residential

Agreement Type	Period	Charges	Outstanding
Residential Water Service Charge	01-01-2023 to 31-03-2023	\$19.47	\$19.47
Residential Sewer Service Charge	01-01-2023 to 31-03-2023	\$111.22	\$111.22
Usage Charges are currently billed to a tenant under the Residential Tenancy Act			
<b>Other Charges:</b>			
Interest	No interest applicable at this time		
No further charges applicable to this property			
<b>Balance Brought Forward</b>			-\$49.04 cr
<b>Total for This Property</b>			<b>\$81.65</b>

The property above forms part of the property for which the charges below are applicable

Property Address	Lot & Plan	Property Number	Property Type
19 STATION RD, GEMBROOK VIC 3783	1\LP126087	1439382	Superseded

Agreement Type	Period	Charges	Outstanding
<b>Other Charges:</b>			
Interest	No interest applicable at this time		
No further charges applicable to this property			
<b>Balance Brought Forward</b>			\$0.00
<b>Total for This Property</b>			<b>\$0.00</b>

**Total Due** \$81.65



GENERAL MANAGER  
RETAIL SERVICES

**Note:**

1. Invoices generated with Residential Water Usage during the period 01/07/2017 – 30/09/2017 will include a

Government Water Rebate of \$100.

2. This statement details all tariffs, charges and penalties due and payable to Yarra Valley Water as at the date of this statement and also includes tariffs and charges (other than for usage charges yet to be billed) which are due and payable to the end of the current financial quarter.
3. All outstanding debts are due to be paid to Yarra Valley Water at settlement. Any debts that are unpaid at settlement will carry over onto the purchaser's first quarterly account and follow normal credit and collection activities - pursuant to section 275 of the Water Act 1989.
4. If the total due displays a (-\$ cr), this means the account is in credit. Credit amounts will be transferred to the purchasers account at settlement.
5. Yarra Valley Water provides information in this Rates Certificate relating to waterways and drainage as an agent for Melbourne Water and relating to parks as an agent for Parks Victoria - pursuant to section 158 of the Water Act 1989.
6. The charges on this rates certificate are calculated and valid at the date of issue. To obtain up to date financial information, please order a Rates Settlement Statement prior to settlement.
7. From 01/10/2022, Residential Water Usage is billed using the following step pricing system: 244.51 cents per kilolitre for the first 44 kilolitres; 312.53 cents per kilolitre for 44-88 kilolitres and 463.00 cents per kilolitre for anything more than 88 kilolitres
8. From 01/07/2022, Residential Recycled Water Usage is billed 184.89 cents per kilolitre
9. From 01/07/2022, Residential Sewage Disposal is calculated using the following equation: Water Usage (kl) x Seasonal Factor x Discharge Factor x Price (cents/kl) 115.40 cents per kilolitre
10. From 01/07/2022, Residential Recycled Sewage Disposal is calculated using the following equation: Recycled Water Usage (kl) x Seasonal Factor x Discharge Factor x Price (cents/kl) 115.40 cents per kilolitre
11. The property is a serviced property with respect to all the services, for which charges are listed in the Statement of Fees above.

**Property No:** 5172419

**Address:** 19 STATION RD, GEMBROOK VIC 3783

**Water Information Statement Number:** 30750660

## HOW TO PAY



**Bill**er Code: 314567  
**Ref:** 42494153870

**Amount  
Paid**

**Date  
Paid**

**Receipt  
Number**

# Property Clearance Certificate

## Taxation Administration Act 1997



AB MORISON CONVEYANCING

Your Reference: DT:60467

Certificate No: 59770094

Issue Date: 15 FEB 2023

Enquiries: ESYSPROD

Land Address: 19 STATION ROAD GEMBROOK VIC 3783

Land Id	Lot	Plan	Volume	Folio	Tax Payable
44728252	1	804664	11955	139	\$0.00

Vendor: COLIN PARKES

Purchaser: FOR INFORMATION PURPOSES

Current Land Tax	Year	Taxable Value	Proportional Tax	Penalty/Interest	Total
MR COLIN JAMES PARKES	2023	\$415,000	\$0.00	\$0.00	\$0.00

Comments: Property is exempt: LTX Principal Place of Residence.

Current Vacant Residential Land Tax	Year	Taxable Value	Proportional Tax	Penalty/Interest	Total
-------------------------------------	------	---------------	------------------	------------------	-------

Comments:

Arrears of Land Tax	Year	Proportional Tax	Penalty/Interest	Total
---------------------	------	------------------	------------------	-------

This certificate is subject to the notes that appear on the reverse. The applicant should read these notes carefully.

Paul Broderick  
Commissioner of State Revenue

CAPITAL IMP VALUE: \$520,000

SITE VALUE: \$415,000

AMOUNT PAYABLE: \$0.00

# Notes to Certificates Under Section 95AA of the *Taxation Administration Act 1997*

Certificate No: 59770094

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## Power to issue Certificate

1. The Commissioner of State Revenue can issue a Property Clearance Certificate (Certificate) to an owner, mortgagee or bona fide purchaser of land who makes an application specifying the land for which the Certificate is sought and pays the application fee.

## Amount shown on Certificate

2. The Certificate shows any land tax (including Vacant Residential Land Tax, interest and penalty tax) that is due and unpaid on the land described in the Certificate at the date of issue. In addition, it may show:
  - Land tax that has been assessed but is not yet due,
  - Land tax for the current tax year that has not yet been assessed, and
  - Any other information that the Commissioner sees fit to include, such as the amount of land tax applicable to the land on a single holding basis and other debts with respect to the property payable to the Commissioner.

## Land tax is a first charge on land

3. Unpaid land tax (including Vacant Residential Land Tax, interest and penalty tax) is a first charge on the land to which it relates. This means it has priority over any other encumbrances on the land, such as a mortgage, and will continue as a charge even if ownership of the land is transferred. Therefore, a purchaser may become liable for any such unpaid land tax.

## Information for the purchaser

4. If a purchaser of the land described in the Certificate has applied for and obtained a Certificate, the amount recoverable from the purchaser cannot exceed the 'amount payable' shown. A purchaser cannot rely on a Certificate obtained by the vendor.

## Information for the vendor

5. Despite the issue of a Certificate, the Commissioner may recover a land tax liability from a vendor, including any amount identified on this Certificate.

## General information

6. A Certificate showing no liability for the land does not mean that the land is exempt from land tax. It means that there is nothing to pay at the date of the Certificate.
7. An updated Certificate may be requested free of charge via our website, if:
  - The request is within 90 days of the original Certificate's issue date, and
  - There is no change to the parties involved in the transaction for which the Certificate was originally requested.

## For Information Only

LAND TAX CALCULATION BASED ON SINGLE OWNERSHIP

Land Tax = \$605.00

Taxable Value = \$415,000

Calculated as \$375 plus ( \$415,000 - \$300,000) multiplied by 0.200 cents.

---

## Property Clearance Certificate - Payment Options

**BPAY**




Billers Code: 5249  
Ref: 59770094

**Telephone & Internet Banking - BPAY®**

Contact your bank or financial institution to make this payment from your cheque, savings, debit or transaction account.

[www.bpay.com.au](http://www.bpay.com.au)

**CARD**



Ref: 59770094

**Visa or Mastercard**

Pay via our website or phone 13 21 61.  
A card payment fee applies.

[sro.vic.gov.au/paylandtax](http://sro.vic.gov.au/paylandtax)



17 February 2023



Property number: 5000024683  
Your reference: 67913146-022-1  
Receipt number: -

AB Morison c/o LANDATA

**PROPERTY INFORMATION REQUEST REGULATION (51(1)) – FORM 10**

**Land (property) located at:** (Lot 1)19 Station Rd, Gembrook Vic 3783

In reply to your recent enquiry, I wish to advise that a search of our building records for the preceding ten (10) years reveals the following: -

**Details of Building Permits and Certificate of Occupancy or Final Inspection:**

Building Permit No.	Issue Date	Building Works	Final/OP Date
BS-U 14088/20170015/0	20/01/2017	Carport construction	17/01/2019

Please note that Council is unaware of any current statement(s) issued under regulation 64 or 231 of the Building Regulations 2018.

**Outstanding building related orders or Notices pertaining to the Building Act 1993: -**

Type	Issue Date	Details
NIL		

**The property:** Is the building or land in an area:

- That is liable to flooding (Reg. 153)? **NO\***
- That is a likely to be subject to termite attack (Reg. 150)? **YES**
- For which BAL level has been specified in a planning scheme? **NO\*\***
- That is subject to significant snowfalls (Reg. 152)? **NO**
- Of designated land or works (Reg. 154)? **NO**

**\*NOTE:** Flooding information is predominantly based on 'Planning Scheme Flood Overlays' and 'Melbourne Water Data' available, any building work proposed within 50 metres of a water course (not requiring a planning permit) should be designed to ensure that amenity and structural integrity is not impacted (further opinion may be obtained from Councils Municipal Building Surveyor).

**\*\* NOTE:** BAL='Bushfire Attack Level', BAL's may also be provided as restrictions on title/subdivision and shall be complied with. Refer to 'Land Channel' website for information relating to regulation 155 (designated state bushfire prone areas) [DELWP VicPlan Maps](#)

**Note:**

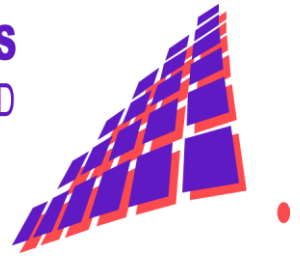
This summary is an extract of Council's records only **made at the date the information is provided**. The **information provided** does not guarantee the current status of the building. An inspection has not been specifically conducted as a result of your enquiry. **The reply provided has been prepared as accurately as possible as at the date of the reply, from** information **currently** available to Council. Council accepts no liability for **any** omissions or errors contained in the information supplied. Where any doubt or concern is raised professional advice should be sought.

Any existing swimming pool/spa with a depth of over 300mm is required to be provided with suitable barriers to restrict young children from gaining access.

**Please contact Councils building department without delay should an appropriate pool barrier not be in place or should smoke alarms not be installed within a residential property.**

Yours sincerely,

Jo Welsford  
Administration Officer Regulatory Services



## FORM 2

**BUILDING PERMIT**

Building Act 1993  
BUILDING REGULATIONS 2018  
Regulations 37(1)

**BUILDING PERMIT:** 3742394142365  
**ISSUE DATE:** 16 January 2023  
**AMENDMENT DATE:** 22 February 2023

**Owner:**

Colin Parkes - Gembrook Views Estate P/L, ACN/ARBN - 82 076 151 463  
M: E:

**Agent of Owner:**

Andrew Brown - Sketch Building Design P/L, 554-556 Glenhuntly Road, Elsternwick, 3185  
M: 0419 113 281 E: a.brown@sketchbuildingdesign.com.au

**Builder:**

James Ward - Gard Constructions P/L, ACN/ARBN - 628801829, 2 Lillimur Road, Ormond 3204  
M: 0407 504 105 E: jward@gardconstructions.com

This builder is specified under Section 24B(4) of the **Building Act 1993** for the building work to be carried out under this permit.

**PROJECT ADDRESS** 19A Station Road, Gembrook 3783

**PROPERTY DETAILS**

Title Details: Lot: 2 PS804664 Vol: 11955 Fol: 140  
Municipal District: Cardinia Shire Council

**PROJECT DESCRIPTION** Construction of four (4) dwellings with attached garages  
Stage 1 - Construction of Units 1 & 2

**PREVIOUS STAGE PERMIT DETAILS****NATURE OF BUILDING WORK**

Site Area (m <sup>2</sup> ):	1027	Total New Floor Area (m <sup>2</sup> ):	279
Existing Dwellings:	0	New Dwellings Constructed:	2
Project Estimated Value:	\$400,000.00	Storeys Contained	1
Version of BCA Applicable	2019	Rise in Storeys	N/A
Effective Height	N/A	Type of Construction	N/A

**BUILDING PERMIT COMMENCEMENT AND COMPLETION DATES**

**Building work must commence by: 16/01/2024**

If the building work to which this building permit applies is not commenced by this date, this building permit will lapse unless an extension is applied for and granted by the relevant building surveyor before this date under regulation 59 of the Building Regulations 2018.

**Building work must be completed by: 16/01/2025**

If the building work to which this building permit applies is not completed by this date this building permit will lapse, unless an extension is applied for and granted by the relevant building surveyor before this date under regulation 59 of the Building Regulations 2018.

## BUILDING CLASSIFICATION

BCA Class	Part of Building	Permitted Use	Max Live Load	Max People Accommodated
1a(a)	Units 1 & 2	Detached dwelling	1.5 kPa	N/A
10a	Garages 1 & 2	Garage, carport or shed	2.5 kPa	N/A

## DETAILS OF RELEVANT PLANNING PERMIT

Planning Permit Number: T200834 Planning Permit Issued Date: 17/12/2021

## OCCUPATION OR USE OF BUILDING

A certificate of final inspection is required prior to the occupation or use of this building.

## DETAILS OF DOMESTIC BUILDING WORK INSURANCE<sup>5</sup>

The issuer or provider of the required insurance policy is:	<b>HIA INSURANCE SERVICES PTY LTD</b>
The domestic building work insurance policy/certificate number:	<b>C756665 &amp; C756691</b>
The domestic building work insurance policy/certificate issued date:	<b>16/12/2022</b>

## DETAILS OF BUILDING PRACTITIONERS AND ARCHITECTS

### (a) to be engaged in the building work<sup>3</sup>

TYPE	NAME	REGISTRATION NUMBER
Domestic Builder - Unlimited	James Ward	CDB-U 72295

### (b) engaged in the preparation of documentation to form part of the application for this permit<sup>4</sup>

TYPE	NAME	REGISTRATION NUMBER
Civil engineer	Darren Cuttler	PE0003941
Draftperson	Andrew Brown	DP-AD 22139

## PERFORMANCE SOLUTION

A performance solution was used to determine compliance with the following performance requirements of the BCA that relate to the building to which this permit applies:

RELEVANT PERFORMANCE REQUIREMENT	DETAILS OF PERFORMANCE SOLUTION
P2.2.2.1 Rainwater Management (3.1.32 Drainage requirements)	To provide the technical justification to allow a rainwater tank with a charged system for a Class 1a dwelling compliant with NCC 2019 Vol. 3 Part B6.1 - B6.4 Rainwater Harvesting.

## PRESCRIBED REPORTING AUTHORITIES

The following bodies are Prescribed Reporting Authorities for the purpose of the application for this permit in relation to the matters set out below:

Prescribed Authority	Matter Reported On	Regulation	Approved Date
Cardinia Shire Council	Stormwater legal point of discharge	133	05/03/2018

## PROTECTION WORK

Protection work is not required in relation to the building work proposed in this permit.

## INSPECTION REQUIREMENTS

### The mandatory notification stages are:

Bored piers (Units 1 & 2)  
Strip Footings (Units 1 & 2)  
Sub Floor Framework (Units 1 & 2)  
Framework (Units 1 & 2)  
Final (Units 1 & 2)

## CONDITIONS

The permit is subject to the following conditions:

1. All building work shall be carried out in accordance with the Building Regulations 2018 and the current Building Code of Australia (BCA).
2. Before building work is commenced, additional permits or approvals may need to be obtained under other Acts or other Regulations.
3. The building work described in the approved plans and specifications must not be altered in any way without the approval of the relevant building surveyor.
4. Each mandatory inspection stage is to be inspected and approved before works may proceed.
5. A sign must be displayed on the allotment during construction showing the Building Permit number, the date it was issued, the Builder's and Building Surveyor's registration numbers and contact details.
6. Site is to be adequately fenced and secured at all times.
7. It is the responsibility of the owner and/or builder to comply with council Local Laws.
8. It is the responsibility of the owner and/or builder to confirm if Council requires an asset protection permit to be issued for the project.
9. It is the owners responsibility to comply with any Covenants, Section 173 Agreements or Restrictions contained in the Certificate of Title/or Plan of Subdivision.
10. The owner's attention is drawn to the document published by the CSIRO 'Foundation Maintenance and Footing Performance: A Homeowner's Guide Building Technology File 18' (formerly known as Guide to Home Owners on Foundation Maintenance and Footing Performance 10-91) and the requirements of AS 2870, both of which indicate the owner's responsibilities in regard to the regular maintenance of the building; site and soil conditions.
11. All plumbing work must be carried out by a licensed plumber. Plumbing compliance certificates are to be lodged for all plumbing work (if applicable) to the relevant building surveyor before the Occupancy Permit or Certificate of Final Inspection can be issued.
12. All stormwater must be conveyed by means of pipes to discharge points as directed by the responsible authority (Council) in accordance with AS/NZS 3500 National Plumbing & Drainage code.
13. All major domestic building contracts for amounts exceeding \$10,000 are required to be carried out by a registered Building Practitioners in accordance with the Domestic Building Contracts Act 1995.

## THIS PERMIT HAS BEEN AMENDED AS FOLLOWS:

Date	Amendment	Amended Document	Brief Description of Amendment
22/02/2023	V1.	Engineering Rev C	SF1 bored peirs (except BP1) deleted where the strep footing is founded onto natural clay

## RELEVANT BUILDING SURVEYOR DETAILS



Signature .....

**Iain Stewart**

**PRIVATE BUILDING SURVEYOR BS-U 14088**



**BUILDING PERMIT**  
**3742394142365/V1**    **16/01/2023**  
 PERMIT NO.    ISSUE DATE  
 ROD BETHUNE AND ASSOCIATES PTY LTD

Building Act 1993  
Section 238(1)(a)  
Building Regulations 2018  
Regulation 126

**CERTIFICATE OF COMPLIANCE FOR PROPOSED BUILDING WORK (DESIGN)**

**PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS 3660**

**PROVIDE BUSHFIRE PROTECTION (BAL-12.5) IN ACCORDANCE WITH AS 3959**

This certificate is issued to:

Relevant Building Surveyor: Iain Stewart    BS-U 14088  
Address: 86 Chadsone Road, Malvern 3145  
Email: iain@rodbethune.com.au

This Certificate is issued in relation to proposed building work at:  
No. 19    STATION STREET    GEMBROOK

Nature of proposed building work: PROPOSED 4 UNITS DEVELOPMENT

Version of BCA Applicable to Certificate -2019 Volume 2

Building Classification: Class 1a, Class 10b

Prescribed class of building work for which this certificate applies: Structural Matter  
SLEEPER RETAINING WALL  
FOOTINGS AND SUBFLOOR  
ROOF FRAMING  
WALL BRACING

Documents setting out the design that is certified by this design:

Job Number: 13804

Design Documents:

Prepared By: PM Design Group

Drawing Sheets:	S01 (C) 30.01.23	S12 (C) 30.01.23	S40 (C) 30.01.23
	S02 (C) 30.01.23	S20 (C) 30.01.23	S41 (C) 30.01.23
	S03 (C) 30.01.23	S21 (C) 30.01.23	S50 (C) 30.01.23
	S04 (C) 30.01.23	S30 (C) 30.01.23	
	S10 (C) 30.01.23	S31 (C) 30.01.23	
	S11 (C) 30.01.23	S32 (C) 30.01.23	

Computations: Sheets 1 to 44    Dated: 11.01.23

The design certified by the certificate complies with the following provisions of the Building Act 1993

NCC 2019 Volume 2 Part 2.1 and the following Australian Standards:

AS/NZS 1170.0-2002	AS/NZ 1170.1-2002	AS/NZ 1170.2-2011	AS 2870-2011	AS 1684-2010
AS 1720.1-2010	AS 4055-2012	AS 3600-2018	AS 4100-1998	AS 3700-2018
AS 2159-2009	AS 4678-2002	AS 4773.2 2015		

Referenced documentation sighted but not certified by this certificate:

Soil Report    Ref No. ST-30585    Prepared by: GeoCore P/L    Dated: 25.11.16

I prepared the design set out in the documents listed above.

I certify that the design set out in the documents listed above complies with the provisions set out above.

I believe I hold the required skills, experience and knowledge to issue this certificate and can demonstrate this if requested to do so.

Name: Darren Cuttler  
Address: 28 University Drive, Mt Helen, Victoria 3350  
Email: darren.cuttler@pmdesign.com.au  
Endorsed Building Engineer Area of Engineering: Civil Engineer  
Building Practitioner Registration Number: PE0003941

Signature:    Date: 30.01.23

BALLARAT

GEELONG

WARRNAMBOOL

MELBOURNE

HORSHAM

PORTLAND

# PROPOSED 4 UNITS DEVELOPMENT No. 19 STATION STREET, GEMBROOK

Building Act 1993  
BUILDING REGULATIONS 2018

**BUILDING PERMIT**

3742394142365/V1 16/01/2023

PERMIT NO. ISSUE DATE

ROD BETHUNE AND ASSOCIATES PTY LTD

FOR CONSTRUCTION  
SUBJECT TO APPROVAL BY THE  
RELEVANT BUILDING SURVEYOR  
OR STATUTORY AUTHORITY.

## GENERAL NOTES

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED.

ALL WORKMANSHIP AND MATERIAL SHALL COMPLY WITH THE BUILDING CODE OF AUSTRALIA AS AMENDED AND THE APPROPRIATE AND CURRENT AUSTRALIAN STANDARDS.

THE APPROVAL OF A SUBSTITUTION BY THE ENGINEER IS NOT AN AUTHORISATION FOR AN EXTRA. ANY EXTRAS INVOLVED MUST BE TAKEN UP WITH THE PROJECT MANAGER / COORDINATOR BEFORE WORK COMMENCES.

DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE ENGINEERING DRAWINGS.

ALL DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION OR FABRICATION.

REFER TO THE ARCHITECTURAL DRAWINGS FOR FINISHED FLOOR LEVELS AND SIZE AND EXACT LOCATIONS OF STEPS AND SETDOWNS.

DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.

ALL EXCAVATIONS ARE TO BE MONITORED BY THE BUILDER, ANY CONCERNS RELATING TO STABILITY THE ENGINEER IS TO BE NOTIFIED

THE FOUNDING MATERIAL IS TO BE APPROVED BEFORE POURING CONCRETE AND TO HAVE A SAFE BEARING CAPACITY AS NOTED IN THE SOIL REPORT.

THE STRUCTURAL ELEMENTS HAVE BEEN DESIGNED FOR THE FOLLOWING LOADS:

### 1. LIVE LOADS

AREA	LOAD
FLOOR - RESIDENTIAL	1.5 kPa
ROOF	0.25 kPa
BALCONY LESS THAN 2.0m OFF GROUND	1.5 kPa
BALCONY HIGHER THAN 2.0m OFF GROUND	2.0 kPa
GARAGE FLOOR - RESIDENTIAL	2.5 kPa

### 2. WIND LOADS

WIND CATEGORY	
	N2

## CONCRETE NOTES

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS3600 AND OTHER RELEVANT AUSTRALIAN STANDARDS.

CONCRETE SHALL HAVE A SLUMP OF 80mm, A MAXIMUM AGGREGATE SIZE OF 20mm AND A STRENGTH GRADE AS TABULATED BELOW:

ELEMENT	STRENGTH GRADE (U.N.O)
PIER, FOOTING & FOOTING BEAMS	N20
WAFFLE SLAB	N25
RAFT/INFILL SLAB	N25
SUSPENDED SLAB	N32
POLISHED SLAB	N32

WHERE DRAWING NOMINATES CONCRETE STRENGTH CONFLICTING WITH ABOVE TABLE HIGHER STRENGTH SHALL BE ADOPTED

ALL CONCRETE SHALL BE MECHANICALLY VIBRATED IN THE FORM TO GIVE MAXIMUM COMPACTION WITHOUT SEGREGATION OF THE CONCRETE.

SIZE OF CONCRETE ELEMENTS DOES NOT INCLUDE THICKNESS OF APPLIED FINISH OF GROOVES.

LOCATION AND DETAILS OF CONSTRUCTION JOINTS IF NOT SHOWN ON PLAN SHALL BE TO DETAILS APPROVED BY THE ENGINEER.

ADMIXTURES ARE NOT TO BE USED UNLESS APPROVED BY THE ENGINEER.

UNDER NO CIRCUMSTANCES SHALL THE W/C RATIO EXCEED 0.50, UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE ENGINEER.

FORMWORK CLASS SHALL BE IN ACCORDANCE WITH AS3610. FINISHES TO ALL EXPOSED SURFACES TO BE CLASS 3. SURFACES PERMANENTLY CONCEALED FROM VIEW MAY BE CLASS 5.

CONCRETE SLAB SURFACE FINISH TO BE STEEL TROWELLED, BURNISHED (NON-SLIP) OR BROOMED. REFER TO ARCHITECTURAL SPECIFICATIONS.

## SITE DRAINAGE

THIS FOOTING DESIGN RELIES ON SPECIFIC SITE DRAINAGE PERFORMANCE. IF THE CLIENT HAS NOT ENGAGED ENCO ENGINEERING TO PREPARE A SITE DRAINAGE PLAN IT SHALL BE THE CLIENT'S RESPONSIBILITY TO ENSURE THAT THE SITE IS EFFECTIVELY DRAINED IN ACCORDANCE WITH THE REQUIREMENTS OF AS 2870, AS 3500 AND ALL OTHER APPLICABLE STANDARDS AND REGULATIONS BEFORE COMPLETION OF THE BUILDING WORKS.

SITES SHALL BE DRAINED SO THAT WATER CANNOT POND AGAINST OR NEAR THE BUILDING. THE GROUND IMMEDIATELY ADJACENT TO THE BUILDING SHALL BE GRADED TO FALL 50mm OVER THE FIRST METRE. WHERE THIS IS IMPRACTICABLE (I.E ON SEVERE SLOPING SITES) USE AGI-DRAINS ADJACENT TO FOOTINGS WHERE THE GROUND FALLS TOWARDS THE BUILDING.

DISCHARGE FROM THE DOWNPIPES MUST BE DIRECTED AWAY FROM THE BUILDING DURING CONSTRUCTION TO ENSURE WATER DOES NOT DISCHARGE OR POND ADJACENT TO THE FOOTINGS.

## SLAB SUBGRADE PREPARATION

THE SITE OF THE WORKS IS TO BE STRIPPED OF ALL ORGANIC MATERIAL AND TOP SOIL.

SITE IS TO BE CUT AND FILLED AS REQUIRED AND COMPACTED IN ACCORDANCE WITH AS2870 WITH REPEATED ROLLING OF AN EXCAVATOR.

FILL SHALL NOT EXCEED 600mm FOR SAND (INCLUDING EXISTING FILL LAYER) AND BE COMPACTED IN 300mm MAX. THICKNESS LAYERS, OR 300mm (INCLUDING EXISTING FILL) FOR ANY OTHER MATERIAL AND COMPACTED IN 150mm MAX. THICKNESS LAYERS.

FILL AREAS ARE TO BE PROOF ROLLED BEFORE FILLING AND ANY SOFT SPOTS ARE TO BE REMOVED AND REPLACED WITH COMPACTED CRUSHED ROCK OR APPROVED MATERIAL.

PREPARED SURFACE SHALL HAVE MINIMUM BEARING CAPACITY OF 50kPa.

## REINFORCEMENT NOTES

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS3600 AND RELEVANT CODES.

REINFORCEMENT TYPE AND GRADE (TO AS 4671):

N	500 GRADE DEFORMED BARS
R	250 GRADE STRUCTURAL GRADE PLAIN ROUND BAR
SL,RL	500 GRADE REINFORCING MESH (SQUARE/RECTANGULAR)
TM	500 GRADE TRENCH MESH

CLEAR COVER TO ALL REINFORCEMENT SHALL CONFORM TO THE FOLLOWING TABLE U.N.O.

ELEMENT	COVER (mm)			
	SLABS & WALLS	BEAMS	COLUMNS	FOOTINGS
FORMED & SHELTERED	20	30	65	65
FORMED & EXPOSED	25	40	65	65
NO FORMWORK	40	50	75	75

REINFORCEMENT SHALL NOT BE BENT, HEATED OR WELDED ON SITE WITHOUT THE ENGINEERS PRIOR APPROVAL.

ALL REINFORCEMENT SHALL BE FIRMLY SUPPORTED BY PLASTIC BAR CHAIRS OR PLASTIC TIPPED WIRE BAR CHAIRS.

## INFILL SLAB

INFILL SLABS IN INTERNAL LOCATIONS ARE TO BE PREPARED AS DESCRIBED FOR A RAFT SLAB. FOR EXTERNAL LOCATIONS SLAB CAN BE CONSTRUCTED DIRECTLY ON A PREPARED SUBGRADE WITHOUT A VAPOUR BARRIER.

SAW CUT OR TOOLED JOINTS IF REQUIRED ARE TO BE PROVIDED AS NOTED ON THE DRAWINGS.

ALL REINFORCEMENT IS TO BE SUPPORTED ON BAR CHAIRS.

## WAFFLE SLAB

WAFFLE PODS ARE TO BE LAID ON 50mm OF SAND OR SUITABLE QUARRY PRODUCT SPREAD OVER SUBGRADE AND COMPACTED PRIOR TO THE PLACEMENT OF A 0.2mm THICK POLYTHENE VAPOUR BARRIER, LAPPED 200mm ARE TO BE TAPED OR TAPED AT JOINTS, SERVICE PENETRATIONS AND PUNCTURES.

ALL REINFORCEMENT IS TO BE SUPPORTED ON BAR CHAIRS.

## TIMBER NOTES

ALL TIMBER FRAMING IS TO BE IN ACCORDANCE WITH AS.1684, RESIDENTIAL TIMBER FRAMED CONSTRUCTION CODE AND AS.1720, MEMBER SCHEDULE

**PROVIDE STRUCTURAL PROTECTION IN ACCORDANCE WITH AS 3660**  
ALL TIMBER STRESS GRADES NOMINATED SHALL BE IN ACCORDANCE WITH THE RELEVANT CODES, AND MEANS THE STRUCTURAL QUALITY OF A TIMBER SECTION. REFER TO AS.1720.

**PROVIDE BUSHFIRE PROTECTION (SEE 12.3) IN ACCORDANCE WITH AS 3959**  
TIMBER SHALL BE STORED AND HANDLED SO AS NOT TO BE DETRIMENTAL TO THEIR PERFORMANCE.

ALL TIMBER SHALL BE DRY, ie: LESS THAN 15% MOISTURE CONTENT AT THE TIME OF CONSTRUCTION AND SHALL BE PROTECTED AND/OR TREATED AS NOTED.

BEAMS/STUDS HAVING MORE THAN 1 MEMBER ARE TO BE NAIL LAMINATED TOGETHER IN ACCORDANCE WITH AS.1684.

ALL PROPRIETARY CONNECTORS AND FIXINGS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

ALL EXTERNAL TIMBER MEMBERS ARE TO BE WEATHER TREATED.

## STRUCTURAL STEEL NOTES

ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH AS.4100.

CLEATS, FIXINGS, ETC NOT SHOWN, TO BE PROVIDED BY THE FABRICATOR.

UNLESS SHOWN OTHERWISE, CONNECTIONS SHALL HAVE; 6mm CFW, 2M16 8.8/S BOLTS & 10mm THICK CLEAT PLATES.

ALL STRUCTURAL STEELWORK MUST BE PROTECTED AGAINST CORROSION IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, CLAUSE 3.4.4.4 & TABLE 3.4.4.2, REFER TO MEMBER SCHEDULE FOR SPECIFIC REQUIREMENTS.

GALVANISED STEELWORK THAT IS SITE WELDED OR SUSTAINS ANY OTHER KIND OF SURFACE DAMAGE IS TO BE PREPARED TO AS1627.2 CLASS 3 AND PRIMED WITH 2 COATS OF GALVINITE (MANUFACTURED BY JOTUN) TO MANUFACTURERS SPECIFICATIONS.

WELDING TO BE IN ACCORDANCE WITH AS1554.

BOLTS SHALL BE COMMERCIAL GRADE TO AS1111.1 OR HIGH STRENGTH TO AS1252.

STEELWORK BELOW GROUND LEVEL SHALL BE ENCASED IN CONCRETE WITH A MINIMUM COVER OF 75mm.

ALL STEEL BEAMS AND LINTELS TO HAVE 110mm MIN. END BEARING U.N.O.

ALL STEELWORK EMBEDDED INTO MASONRY SHALL BE HOT DIP GALVANISED

## MASONRY NOTES

ALL WORKMANSHIP & MATERIALS SHALL COMPLY WITH AS3700 AND AS 4773.

MORTAR MIX SHALL BE AS PER AS4773 AND AS SPECIFIED ON ARCHITECTURAL DRAWINGS.

BRICKS SHALL HAVE A CHARACTERISTIC UNCONFINED COMPRESSIVE STRENGTH OF 30MPA IN ACCORDANCE WITH AS4455 AND AS4456.

BLOCKS SHALL HAVE A CHARACTERISTIC UNCONFINED COMPRESSIVE STRENGTH OF 15MPA IN ACCORDANCE WITH AS4455 AND AS4456.

VERTICAL ARTICULATION JOINTS ARE TO BE IN ACCORDANCE WITH AS3700 & AS4773.

CAVITY FILLING IS TO BE GROUT WITH MINIMUM COMPRESSIVE STRENGTH OF 20 MPA. FILLING SHALL BE DONE IN MAXIMUM OF 1000mm LIFTS AFTER MORTAR HAS CURED.

## DRAWING INDEX

PLANS		FOOTING DETAILS		FRAMING DETAILS	
S01	GENERAL NOTES & DRAWING INDEX	S30	FOOTING DETAILS 1	S40	FRAMING DETAILS 1
S02	FOOTING NOTES	S31	FOOTING DETAILS 2	S41	FRAMING DETAILS 2
S03	DWELLING 3 & 4 FOOTING PLAN	S32	FOOTING DETAILS 3		
S04	DWELLING 1 & 2 FOOTING PLAN				
S10	DWELLING 3 & 4 ROOF FRAMING PLAN				
S11	DWELLING 1 & 2 ROOF FRAMING PLAN				
S12	MEMBER SCHEDULE				
S20	DWELLING 3 & 4 BRACING PLAN				
S21	DWELLING 1 & 2 BRACING PLAN			S50	WALL BRACING DETAILS

REV	DESCRIPTION	DATE	PROJECT ADDRESS	DRAWING TITLE	DESIGN D.C	REVISION C	
1	ISSUED AS PRELIMINARY	07.02.21	No. 19 STATION STREET, GEMBROOK	GENERAL NOTES & DRAWING INDEX	DRAWN S.S	SCALE N/A @ A3	
A	ISSUED FOR CONSTRUCTION	12.01.23			CLIENT	SHEET NO.	JOB NO.
B	ISSUED FOR CONSTRUCTION	19.01.23			COLIN PARKES	S01	13804
C	ISSUED FOR CONSTRUCTION	30.01.23					
				PM DESIGN GROUP Engineering Solutions www.pmdesign.com.au	DESIGN D.C	REVISION C	
				MULTI DISCIPLINE CONSULTING ENGINEERS			
				PHONE: 9830 0669 WEB: www.pmdesign.com.au			

**WARNING**

BEWARE OF UNDERGROUND SERVICES THE BUILDER IS TO DETERMINE EXACT LOCATIONS OF EXISTING UNDERGROUND SERVICES PRIOR ANY CONSTRUCTION ON SITE.

**NOTE**

INFORMATION REGARDING ANY PIPES WITHIN THE PROPERTY EASEMENT WERE NOT SUPPLIED TO THIS OFFICE AT THE TIME OF STRUCTURAL DESIGN. ALL PROPERTY ASSETS ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION. THIS OFFICE IS TO BE CONTACTED FOR FURTHER ADVICE.

Building Act 1993  
FOOTING REGULATIONS 2018

**REFER TO SHEET S03 & S04**

**BUILT PERMIT**

1742204142265/V1 16/01/2023

PERMIT NO. ISSUE DATE





ROD BETHUNE AND ASSOCIATES PTY LTD

**TREE EFFECTS HAVE BEEN  
TAKEN INTO CONSIDERATION**

PROVIDE TERMITE PROTECTION IN  
ACCORDANCE WITH AS 3660

PROVIDE BUSHFIRE PROTECTION  
(BAL-12.5) IN ACCORDANCE  
WITH AS 3959

**RAFT SLAB LEGEND**

-  DENOTES SET DOWN WHICH IS TO BE POURED AS PART OF THE SLAB.
-  DENOTES EDGE BEAM 300mm WIDE x 400mm DEEP (MINIMUM) WITH 3-L11TM BOTTOM.
-  DENOTES STIFFENING BEAM 300mm WIDE x 400mm DEEP (MINIMUM) WITH 3-L11TM BOTTOM.
-  DENOTES 2-N12 (OR 3-L11TM) CRACK CONTROL BARS x 1500mm LONG, TIED TO UNDERSIDE OF SLAB MESH.


SLAB FREEBOARD - 150mm


THIS SITE SOIL CLASSIFICATION IS:  
**CLASS 'M'**

IN ACCORDANCE WITH AS.2870 2011, AND SITE INVESTIGATIONS

BY: **GEOCORE P/L**  
REF NO: **ST-30585**  
DATED: **25.11.16**

THIS PLAN SHOULD BE READ IN CONJUNCTION WITH THIS REPORT. FOOTINGS ARE TO BE FOUNDED A MINIMUM **100mm** INTO THE **SILTY CLAY** AS NOTED IN THE BORELOGS.

 **BP1** DENOTES **450mm** DIAMETER BORED PIER TO BE FOUNDED **2000mm** BELOW GROUND OR ONTO SOLID ROCK, WHICHEVER IS SHALLOWER DUE TO EXISTING TREES.

 DENOTES **450mm** DIAMETER BORED PIER TO BE FOUNDED **500mm** INTO THE NATURAL **SILTY CLAY** ALL PIERS TO BE POURED INDEPENDENT FROM SLAB.


**STEP, SETDOWN & FALLS**

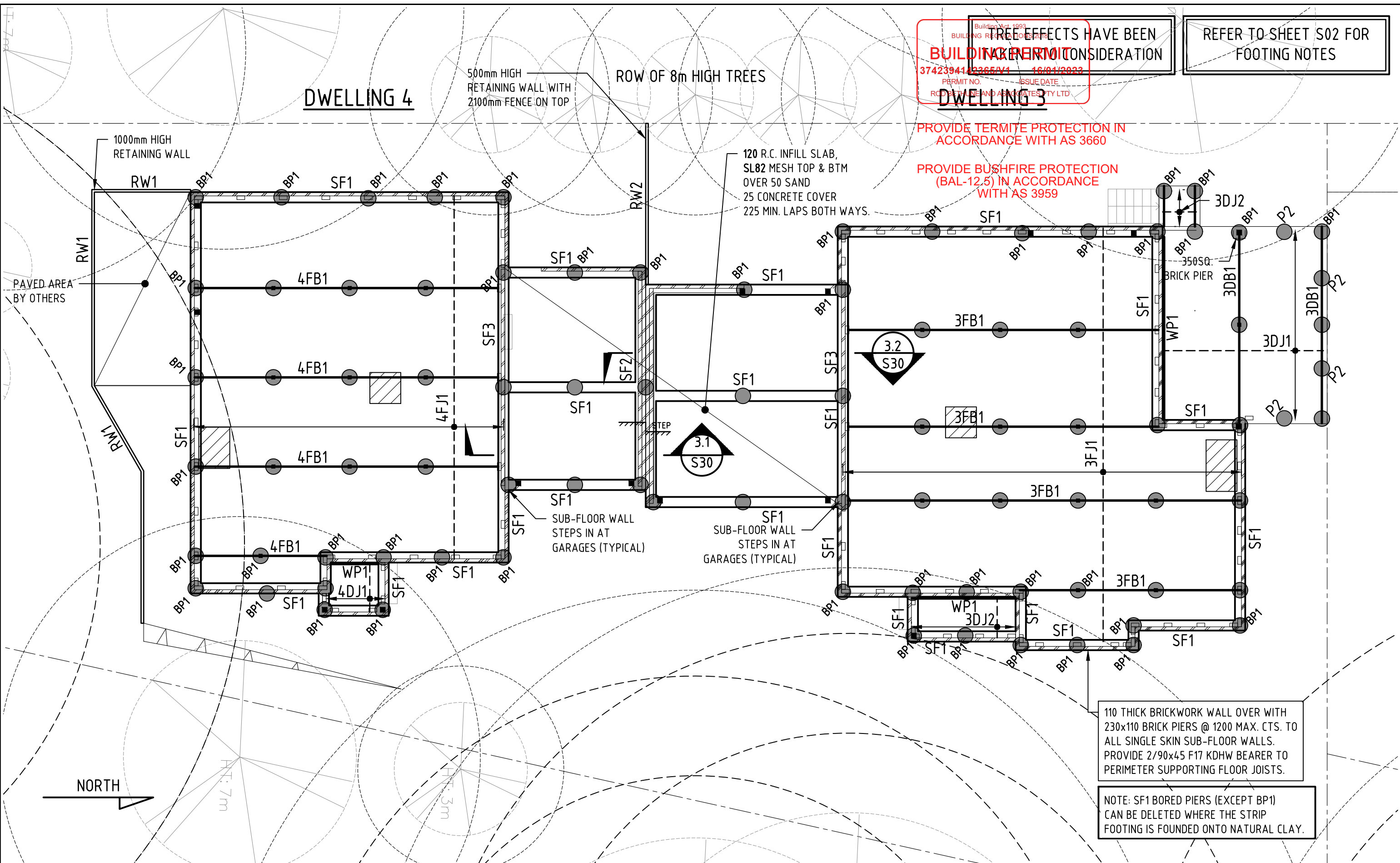
REFER TO THE ARCHITECT'S DRAWINGS FOR FINISHED FLOOR LEVELS, SIZE AND EXACT LOCATIONS OF STEPS AND SETDOWNS. FALL IN EXTERNAL SLABS MAYBE REQUIRED.

**FOOTING SCHEDULE**

MARK	DIMENSION		REINFORCEMENT		COMMENTS
	WIDTH	DEPTH	TOP	BOTTOM	
PF1	500 SQ.	500	N/A	N/A	800 BELOW GROUND, 100 INTO SILTY CLAY
SF1	300	450	3-L11TM	3-L11TM	525 BELOW GROUND, ON BORED PIERS
SF2	600	450	6-L11TM	6-L11TM	525 BELOW GROUND, ON BORED PIERS
SF3	400	450	4-L11TM	4-L11TM	525 BELOW GROUND, ON BORED PIERS

AS NOTED IN THE BORELOGS. REFER TO ARCHITECTURAL PLANS FOR THE EXACT LOCATION.

REV	DESCRIPTION	DATE	PROJECT ADDRESS	DRAWING TITLE	 Engineering Solutions MULTI DISCIPLINE CONSULTING ENGINEERS PHONE: 9830 0669 WEB: www.pmdesign.com.au	DESIGN D.C	REVISION C
1	ISSUED AS PRELIMINARY	07.02.21	No. 19 STATION STREET, GEMBROOK	FOOTING NOTES			DRAWN S.S
A	ISSUED FOR CONSTRUCTION	12.01.23		CLIENT		SHEET NO.	JOB NO.
B	ISSUED FOR CONSTRUCTION	19.01.23		COLIN PARKES		S02	13804
C	ISSUED FOR CONSTRUCTION	30.01.23					



Building Act 1993  
 BUILDING PERMIT CONSIDERATION  
 37423941 42265/V1 16/01/2023  
 PERMIT NO. ISSUE DATE  
 ROBERT HINE AND ASSOCIATES PTY LTD.  
**DWELLING 3**

REFER TO SHEET S02 FOR FOOTING NOTES

PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS 3660

PROVIDE BUSHFIRE PROTECTION (BAL-12.5) IN ACCORDANCE WITH AS 3959

120 R.C. INFILL SLAB, SL82 MESH TOP & BTM OVER 50 SAND 25 CONCRETE COVER 225 MIN. LAPS BOTH WAYS.

110 THICK BRICKWORK WALL OVER WITH 230x110 BRICK PIERS @ 1200 MAX. CTS. TO ALL SINGLE SKIN SUB-FLOOR WALLS. PROVIDE 2/90x45 F17 KDHW BEARER TO PERIMETER SUPPORTING FLOOR JOISTS.

NOTE: SF1 BORED PIERS (EXCEPT BP1) CAN BE DELETED WHERE THE STRIP FOOTING IS FOUNDED ONTO NATURAL CLAY.

REV	DESCRIPTION	DATE
1	ISSUED AS PRELIMINARY	07.02.21
A	ISSUED FOR CONSTRUCTION	12.01.23
B	ISSUED FOR CONSTRUCTION	19.01.23
C	ISSUED FOR CONSTRUCTION	30.01.23

PROJECT ADDRESS  
 No. 19 STATION STREET,  
 GEMBROOK

DRAWING TITLE  
 DWELLING 3 & 4 FOOTING PLAN

CLIENT  
 COLIN PARKES

**PM DESIGN GROUP**  
 Engineering Solutions  
 www.pmdesign.com.au

MULTI DISCIPLINE CONSULTING ENGINEERS

PHONE: 9830 0669  
 WEB: www.pmdesign.com.au

DESIGN	D.C	REVISION	C
DRAWN	S.S	SCALE	1:100 @ A3
SHEET NO.	S03	JOB NO.	13804



# DWELLING 2

# DWELLING 1

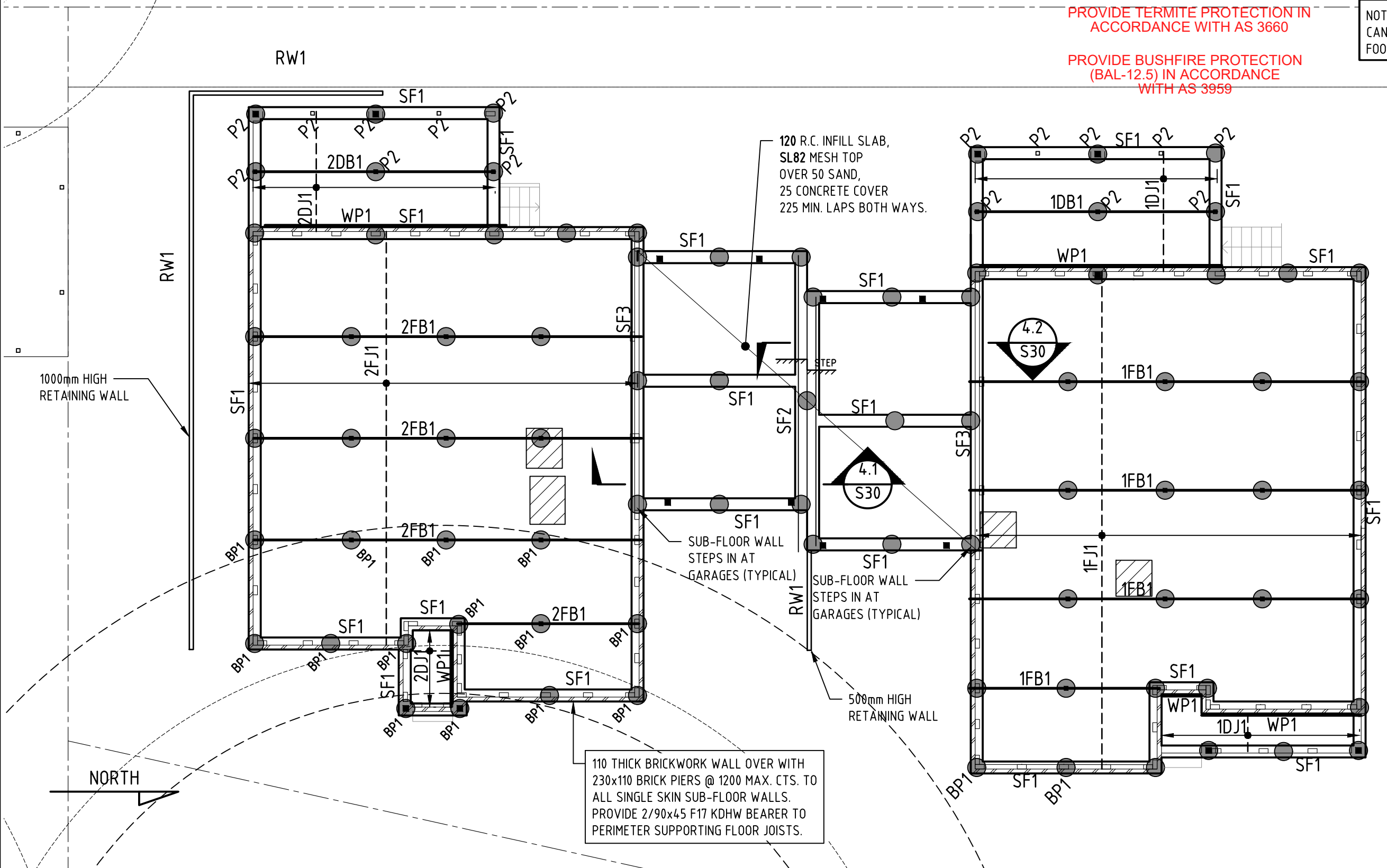
Building Act 1993  
 BUILDING PERMIT  
 TREE EFFECTS HAVE BEEN CONSIDERATION  
 37423941 2365/V1 16/01/2023  
 PERMIT NO. ISSUE DATE  
 RCD ENGINEERING AND ASSOCIATES PTY LTD

REFER TO SHEET S02 FOR FOOTING NOTES

PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS 3660

PROVIDE BUSHFIRE PROTECTION (BAL-12.5) IN ACCORDANCE WITH AS 3959

NOTE: SF1 BORED PIERS (EXCEPT BP1) CAN BE DELETED WHERE THE STRIP FOOTING IS FOUNDED ONTO NATURAL CLAY.



REV	DESCRIPTION	DATE	PROJECT ADDRESS	DRAWING TITLE	PM DESIGN GROUP Engineering Solutions	DESIGN D.C	REVISION C
1	ISSUED AS PRELIMINARY	07.02.21	No. 19 STATION STREET, GEMBROOK	DWELLING 1 & 2 FOOTING PLAN	MULTI DISCIPLINE CONSULTING ENGINEERS	DRAWN S.S	SCALE 1:100 @ A3
A	ISSUED FOR CONSTRUCTION	12.01.23				SHEET NO.	JOB NO.
B	ISSUED FOR CONSTRUCTION	19.01.23				S04	13804
C	ISSUED FOR CONSTRUCTION	30.01.23					

CLIENT  
 COLIN PARKES

PHONE: 9830 0669  
 WEB: www.pmdesign.com.au

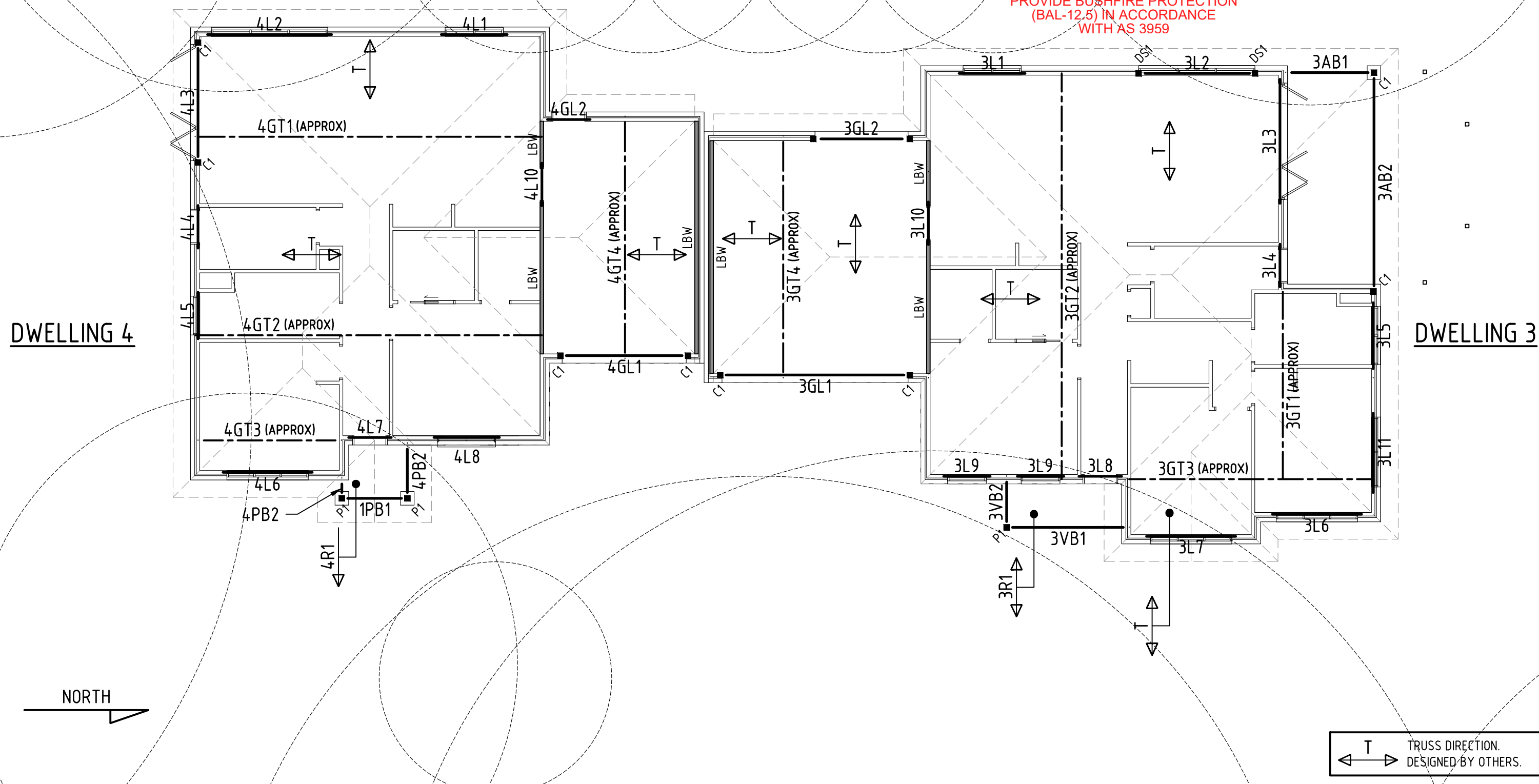
Building Act 1993  
 BUILDING REGULATIONS 2018  
**BUILDING PERMIT**  
 3742394142365/V1 16/01/2023  
 PERMIT NO. ISSUE DATE  
 ROD BETHUNE AND ASSOCIATES PTY LTD

REFER TO SHEET S12 FOR  
 MEMBER SCHEDULE

FRAMING DESIGN BASED ON  
 SHEET ROOF LOADS

PROVIDE TERMITE PROTECTION IN  
 ACCORDANCE WITH AS 3660

PROVIDE BUSHFIRE PROTECTION  
 (BAL-12.5) IN ACCORDANCE  
 WITH AS 3959



REV	DESCRIPTION	DATE
1	ISSUED AS PRELIMINARY	07.02.21
A	ISSUED FOR CONSTRUCTION	12.01.23
B	ISSUED FOR CONSTRUCTION	19.01.23
C	ISSUED FOR CONSTRUCTION	30.01.23

PROJECT ADDRESS  
 No. 19 STATION STREET,  
 GEMBROOK

DRAWING TITLE  
 DWELLING 3 & 4 ROOF FRAMING PLAN

CLIENT  
 COLIN PARKES

**PM DESIGN GROUP**  
 Engineering Solutions  
 MULTI DISCIPLINE CONSULTING ENGINEERS  
 PHONE: 9830 0669  
 WEB: www.pmdesign.com.au

DESIGN	D.C	REVISION	C
DRAWN	S.S	SCALE	1:100 @ A3
SHEET NO.	S10	JOB NO.	13804

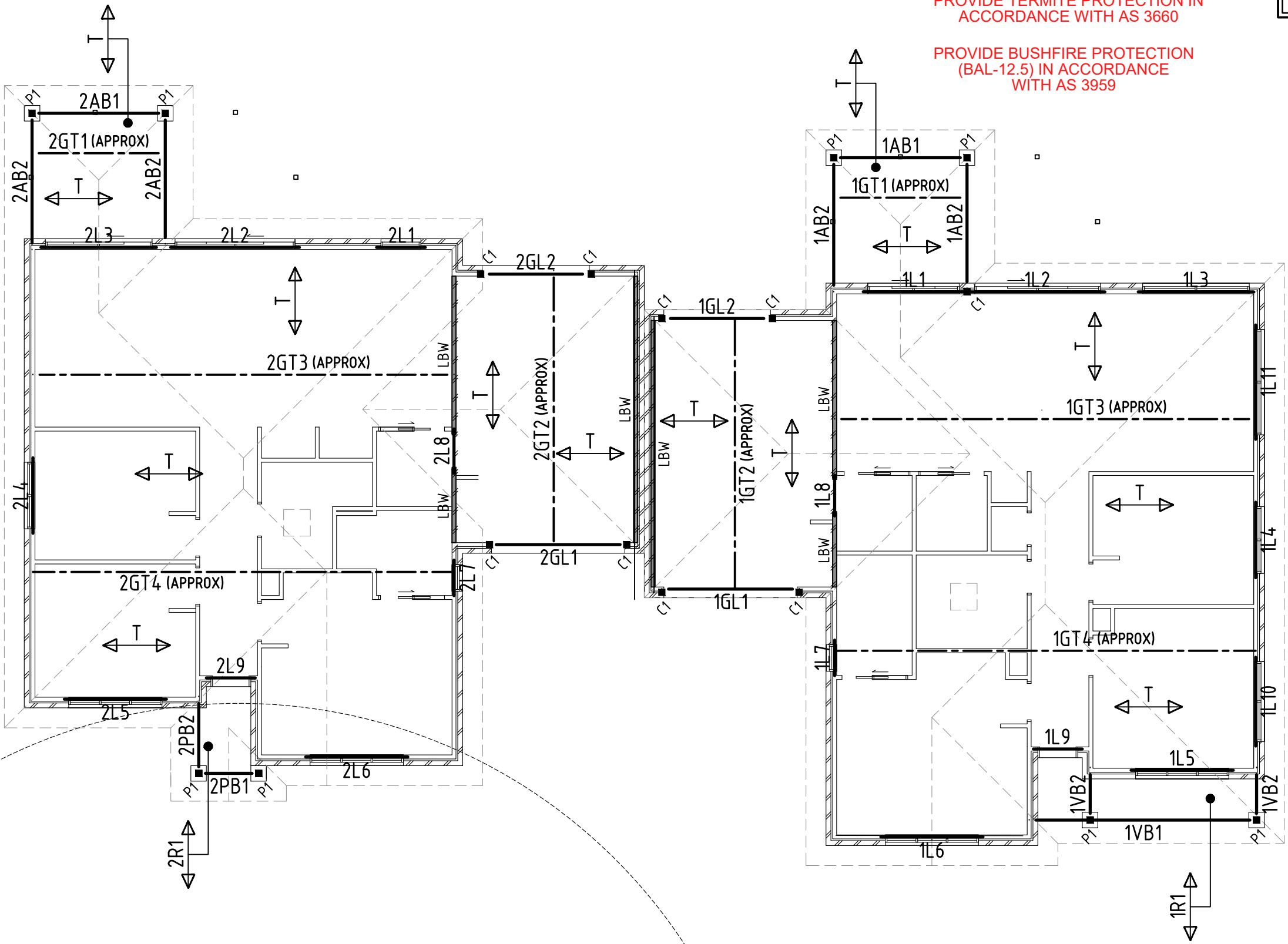
Building Act 1993  
 BUILDING REGULATIONS 2018  
**BUILDING PERMIT**  
 3742394142365/V1 16/01/2023  
 PERMIT NO. ISSUE DATE  
 ROD BETHUNE AND ASSOCIATES PTY LTD

REFER TO SHEET S13 FOR  
 MEMBER SCHEDULE

FRAMING DESIGN BASED ON  
 SHEET ROOF LOADS

PROVIDE TERMITE PROTECTION IN  
 ACCORDANCE WITH AS 3660

PROVIDE BUSHFIRE PROTECTION  
 (BAL-12.5) IN ACCORDANCE  
 WITH AS 3959



DWELLING 2

DWELLING 1



T TRUSS DIRECTION.  
 DESIGNED BY OTHERS.

REV	DESCRIPTION	DATE
1	ISSUED AS PRELIMINARY	07.02.21
A	ISSUED FOR CONSTRUCTION	12.01.23
B	ISSUED FOR CONSTRUCTION	19.01.23
C	ISSUED FOR CONSTRUCTION	30.01.23

PROJECT ADDRESS  
 No. 19 STATION STREET,  
 GEMBROOK

DRAWING TITLE  
 DWELLING 1 & 2 ROOF FRAMING PLAN

CLIENT  
 COLIN PARKES

**PM DESIGN GROUP**  
 Engineering Solutions  
 MULTI DISCIPLINE CONSULTING ENGINEERS  
 PHONE: 9830 0669  
 WEB: www.pmdesign.com.au

DESIGN	D.C	REVISION	C
DRAWN	S.S	SCALE	1:100 @ A3
SHEET NO.	S11	JOB NO.	13804

MEMBER SCHEDULE		
MARK	MEMBER SIZE	COMMENTS
P1	125x125 F7 CYPRESS PINE DAR	TIMBER POST
DS1	2/90x45 F17 KDHW	NAIL LAMINATED, DOUBLE STUD
P2	90x90 F7 CYPRESS PINE	DECK STUMP
C1	89x89x5.0 SHS	STEEL COLUMN
WP1	140x45 MGP10	H3 TREATED M10 ANKASCREWS TO BRICKWALL @ 450 CTRS

MEMBER SCHEDULE DWELLING 3		
MARK	MEMBER SIZE	COMMENTS
3AB1	140x45 HYSpan LVL	-
3AB2	200 PFC	-
3VB1	190x45 HYSpan LVL	-
3VB2	140x45 HYSpan LVL	-
3L1	140x45 HYSpan LVL	-
3L2	240x45 HYSpan LVL	-
3L3	190x45 HYSpan LVL	-
3L4	90x45 HYSpan LVL	-
3L5	140x45 HYSpan LVL	-
3L6	140x45 HYSpan LVL	-
3L7	140x45 HYSpan LVL	-
3L8	90x45 HYSpan LVL	-
3L9	90x45 HYSpan LVL	-
3L10	90x45 HYSpan LVL	-
3L11	190x45 HYSpan LVL	-
3GL1	200x10 PL. VERT. + 200x10 PL. HORIZ.	REFER 'INVERTED TEE' DETAIL 250 END BEARING EACH END (BOTH PLATES)
3GL2	200x10 PL. VERT. + 200x10 PL. HORIZ.	REFER 'INVERTED TEE' DETAIL 250 END BEARING EACH END (BOTH PLATES)
3FB1	2/140x45 F17 KDHW	NAIL LAMINATED
3DB1	2/140x45 MGP10 H3 TREATED PINE	NAIL LAMINATED
3FJ1	140x45 F17 KDHW	@ 450 CTS
3DJ1	140x45 MGP10 H3 TREATED PINE	@ 450 CTS
3DJ2	90x45 MGP10 H3 TREATED PINE	@ 450 CTS
3R1	90x45 HYSpan LVL	@ 600 CTS

MEMBER SCHEDULE DWELLING 4		
MARK	MEMBER SIZE	COMMENTS
4PB1	140x45 HYSpan LVL	-
4PB2	140x45 HYSpan LVL	-
4L1	140x45 HYSpan LVL	-
4L2	190x45 HYSpan LVL	-
4L3	200 PFC	-
4L4	140x45 HYSpan LVL	-
4L5	90x45 HYSpan LVL	-
4L6	140x45 HYSpan LVL	-
4L7	90x45 HYSpan LVL	-
4L8	140x45 HYSpan LVL	-
4L9	DELETED	-
4L10	90x45 HYSpan LVL	-
4GL1	200x10 PL. VERT. + 200x10 PL. HORIZ.	REFER 'INVERTED TEE' DETAIL 250 END BEARING EACH END (BOTH PLATES)
4GL2	90x45 HYSpan LVL	-
4FB1	2/140x45 F17 KDHW	NAIL LAMINATED
4FJ1	140x45 F17 KDHW	@ 450 CTS
4DJ1	90x45 MGP10 H3 TREATED PINE	@ 450 CTS
4R1	90x45 HYSpan LVL	@ 600 CTS

Building Act 1993  
 BUILDING REGULATIONS 2018  
**BUILDING PERMIT**  
 PERMIT NO. 3742394142365/V1  
 ISSUE DATE 16/01/2023  
 4PB2  
 ROD BETHUNE AND ASSOCIATES PTY LTD

PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS 3660  
 PROVIDE BUSHFIRE PROTECTION (BAL-12.5) IN ACCORDANCE WITH AS 3959

### TIMBER FRAMING NOTES

REFER TO THE ARCHITECTURAL DRAWINGS & AS.1684 'RESIDENTIAL TIMBER FRAMED CONSTRUCTION' FOR SIZES OF COMMON FRAMING MEMBERS NOT SPECIFIED BY PM ENGINEERING.

THE BUILDER IS TO PROVIDE ROOF BRACING IN ACCORDANCE WITH AS.4440 & WALL BRACING & TIE DOWNS IN ACCORDANCE WITH AS.1684 'RESIDENTIAL TIMBER FRAMED CONSTRUCTION'.

GIRDER TRUSS LOCATIONS ARE ASSUMED AND TO BE VERIFIED BY THE BUILDER ON SITE.

THIS PLAN INDICATES AN ASSUMED TRUSS LAYOUT ONLY. ALL MEMBERS SHOWN ARE TO BE CONFIRMED ONCE THE FINAL ROOF FRAMING PLAN IS AVAILABLE. BUILDER TO ADVISE PM ENGINEERING IF ASSUMED ROOF TRUSS LAYOUT & GT LOCATIONS DIFFER AS SHOWN. ALL OTHER LINTELS & FRAMING BY OTHERS.

### LOAD BEARING INTERNAL STUD WALLS

DENOTED  ON PLAN.

ALL TIMBER FRAMING IS TO BE IN ACCORDANCE WITH CURRENT CODES AS AT THE TIME OF DESIGN, AS1684 RESIDENTIAL TIMBER FRAMED CONSTRUCTION CODE, AND AS1720, TIMBER STRUCTURES CODE.

### PREFABRICATED TRUSS NOTE

ALL TIMBER TRUSS DESIGNS AND APPROVALS ARE THE RESPONSIBILITY OF THE TRUSS MANUFACTURER. THE MANUFACTURER IS TO CHECK THE LAYOUT SHOWN ON THE ENGINEERING DRAWINGS, AND ADVISE PM ENGINEERING OF ANY VARIANCE TO THE FINAL LAYOUT.

PROVIDE 12mm DIA HOLES TO TOP & BOTTOM FLANGE @ 600 CTS. STARTING 100 FROM ENDS TO FIX STUD WALL OVER/UNDER (WHERE REQUIRED)

PROVIDE 2/90x45 MGP10 NAIL LAMINATED STUD SUPPORTS TO EACH END OF ALL BEAMS, LINTELS & GIRDER TRUSSES UNLESS NOTED OTHERWISE.

REV	DESCRIPTION	DATE	PROJECT ADDRESS	DRAWING TITLE	DESIGN D.C	REVISION C	
1	ISSUED AS PRELIMINARY	07.02.21	No. 19 STATION STREET, GEMBROOK	MEMBER SCHEDULE	S.S	SCALE N/A @ A3	
A	ISSUED FOR CONSTRUCTION	12.01.23					
B	ISSUED FOR CONSTRUCTION	19.01.23		CLIENT	MULTI DISCIPLINE CONSULTING ENGINEERS	SHEET NO.	JOB NO.
C	ISSUED FOR CONSTRUCTION	30.01.23		COLIN PARKES	PHONE: 9830 0669 WEB: www.pmdesign.com.au	S12	13804

  
 Engineering Solutions  
 www.pmdesign.com.au

MEMBER SCHEDULE		
MARK	MEMBER SIZE	COMMENTS
P1	125 x 125 F7 CYPRESS PINE DAR	TIMBER POST
DS1	2/90x45 F17 KDHW	NAIL LAMINATED, DOUBLE STUD
P2	90x90 F7 CYPRESS PINE	DECK STUMP
C1	89x89x5.0 SHS	STEEL COLUMN
WP1	140x45 MGP10	H3 TREATED M10 ANKASCREWS TO BRICKWALL @ 450 CTRS

MEMBER SCHEDULE DWELLING 1			
MARK	MEMBER SIZE	COMMENTS	
1AB1	190x45 HYPAN LVL	-	
1AB2	190x45 HYPAN LVL	-	
1VB1	240x45 HYPAN LVL	-	
1VB2	240x45 HYPAN LVL	-	
1L1	140x45 HYPAN LVL	-	
1L2	190x45 HYPAN LVL	-	
1L3	190x45 HYPAN LVL	-	
1L4	140x45 HYPAN LVL	-	
1L5	190x45 HYPAN LVL	-	
1L6	190x45 HYPAN LVL	-	
1L7	2/90x45 HYPAN LVL	GT SUPPORTING LINTEL	
1L8	90x45 HYPAN LVL	-	
1L9	140x45 HYPAN LVL	-	
1L10	190x45 HYPAN LVL	-	
1L11	240x45 HYPAN LVL	GT SUPPORTING LINTEL	
1GL1	200x10 PL. VERT. $\perp$ + 200x10 PL. HORIZ.	REFER 'INVERTED TEE' DETAIL 250 END BEARING EACH END (BOTH PLATES)	
1GL2	200x10 PL. VERT. $\perp$ + 200x10 PL. HORIZ.	REFER 'INVERTED TEE' DETAIL 250 END BEARING EACH END (BOTH PLATES)	
1FB1	2/140x45 F17 KDHW	NAIL LAMINATED	
1DB1	2/140x45 MGP10 H3 TREATED PINE	NAIL LAMINATED, MAX SPAN 2000	
1FJ1	140x45 F17 KDHW	@ 450 CTS	
1DJ1	90x45 MGP10 H3 TREATED PINE	@ 450 CTS	
1R1	90x45 HYPAN LVL	@ 600 CTS	

MEMBER SCHEDULE DWELLING 2			
MARK	MEMBER SIZE	COMMENTS	
2AB1	190x45 HYPAN LVL	-	
2AB2	190x45 HYPAN LVL	-	
2PB1	190x45 HYPAN LVL	-	
2PB2	140x45 HYPAN LVL	-	
2L1	190x45 HYPAN LVL	-	
2L2	190x45 HYPAN LVL	-	
2L3	190x45 HYPAN LVL	-	
2L4	140x45 HYPAN LVL	-	
2L5	190x45 HYPAN LVL	-	
2L6	190x45 HYPAN LVL	-	
2L7	2/90x45 HYPAN LVL	GT SUPPORTING LINTEL	
2L8	90x45 HYPAN LVL	-	
2L9	140x45 HYPAN LVL	-	
2GL1	200x10 PL. VERT. $\perp$ + 200x10 PL. HORIZ.	REFER 'INVERTED TEE' DETAIL 250 END BEARING EACH END (BOTH PLATES)	
2GL2	200x10 PL. VERT. $\perp$ + 200x10 PL. HORIZ.	REFER 'INVERTED TEE' DETAIL 250 END BEARING EACH END (BOTH PLATES)	
2FB1	2/140x45 F17 KDHW	NAIL LAMINATED	
2DB1	2/140x45 MGP10 H3 TREATED PINE	NAIL LAMINATED, MAX SPAN 2000mm	
2FJ1	140x45 F17 KDHW	@ 450 CTS	
2DJ1	90x45 MGP10 H3 TREATED PINE	@ 450 CTS	
2R1	90x45 HYPAN LVL	@ 600 CTS	

Building Act 1993  
BUILDING REGULATIONS 2018  
**BUILDING PERMIT**  
3742394142365/V1  
PERMIT NO.  
ISSUE DATE: 2/AB/2023  
ROD BETHUNE AND ASSOCIATES PTY LTD

PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS 3660

PROVIDE BUSH FIRE PROTECTION (BAL-12.5) IN ACCORDANCE WITH AS 3959

### TIMBER FRAMING NOTES

REFER TO THE ARCHITECTURAL DRAWINGS & AS.1684 'RESIDENTIAL TIMBER FRAMED CONSTRUCTION' FOR SIZES OF COMMON FRAMING MEMBERS NOT SPECIFIED BY PM ENGINEERING.

THE BUILDER IS TO PROVIDE ROOF BRACING IN ACCORDANCE WITH AS.4440 & WALL BRACING & TIE DOWNS IN ACCORDANCE WITH AS.1684 'RESIDENTIAL TIMBER FRAMED CONSTRUCTION'.

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### LOAD BEARING INTERNAL STUD WALLS

DENOTED LBW ON PLAN.

ALL TIMBER FRAMING IS TO BE IN ACCORDANCE WITH CURRENT CODES AS AT THE TIME OF DESIGN, AS1684 RESIDENTIAL TIMBER FRAMED CONSTRUCTION CODE, AND AS1720, TIMBER STRUCTURES CODE.

### PREFABRICATED TRUSS NOTE

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PROVIDE 12mm DIA HOLES TO TOP & BOTTOM FLANGE @ 600 CTS. STARTING 100 FROM ENDS TO FIX STUD WALL OVER/UNDER (WHERE REQUIRED)

PROVIDE 2/90x45 MGP10 NAIL LAMINATED STUD SUPPORTS TO EACH END OF ALL BEAMS, LINTELS & GIRDER TRUSSES UNLESS NOTED OTHERWISE.

REV	DESCRIPTION	DATE	PROJECT ADDRESS	DRAWING TITLE	DESIGN D.C	REVISION C	
1	ISSUED AS PRELIMINARY	07.02.21	No. 19 STATION STREET, GEMBROOK	MEMBER SCHEDULE	S.S	SCALE N/A @ A3	
A	ISSUED FOR CONSTRUCTION	12.01.23					
B	ISSUED FOR CONSTRUCTION	19.01.23		CLIENT	MULTI DISCIPLINE CONSULTING ENGINEERS	SHEET NO. S13	JOB NO. 13804
C	ISSUED FOR CONSTRUCTION	30.01.23		COLIN PARKES			

**PM DESIGN GROUP**  
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www.pmdesign.com.au

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**BUILDING PERMIT**  
 3742394142365/V1 16/01/2023  
 PERMIT NO. ISSUE DATE  
 ROD BETHUNE AND ASSOCIATES PTY LTD

**N2 - 40m/s GUST SPEED  
 BRACING REQUIREMENT**

TYPE G: PLYWOOD BRACING  
 TYPE D: DOUBLE DIAGONAL STRAP BRACING

ROOF BRACING BY TRUSS MANUFACTURER

PROVIDE TERMITE PROTECTION IN  
 ACCORDANCE WITH AS 3660

PROVIDE BUSHFIRE PROTECTION  
 (BAL-12.5) IN ACCORDANCE  
 WITH AS 3959

PROVIDE FULLY WELDED  
 FRAME CONNECTION TO  
 EACH END OF 4L3.

PROVIDE FULLY WELDED  
 FRAME CONNECTION TO  
 EACH END OF 3AB2.


PROVIDE FULLY WELDED  
 FRAME CONNECTION TO  
 EACH END OF 4GL1.

PROVIDE FULLY WELDED  
 FRAME CONNECTION TO  
 EACH END OF 3GL1.

**DWELLING 4**

**DWELLING 3**

NORTH

REV	DESCRIPTION	DATE	PROJECT ADDRESS	DRAWING TITLE	 Engineering Solutions MULTI DISCIPLINE CONSULTING ENGINEERS PHONE: 9830 0669 WEB: www.pmdesign.com.au	DESIGN	D.C	REVISION	C
1	ISSUED AS PRELIMINARY	07.02.21	No. 19 STATION STREET, GEMBROOK	DWELLING 3 & 4 BRACING PLAN		DESIGN	D.C	REVISION	C
A	ISSUED FOR CONSTRUCTION	12.01.23			CLIENT	DRAWN	S.S	SCALE	1:100 @ A3
B	ISSUED FOR CONSTRUCTION	19.01.23		COLIN PARKES	SHEET NO.	S20	JOB NO.	13804	
C	ISSUED FOR CONSTRUCTION	30.01.23							

Building Act 1993  
BUILDING REGULATIONS 2018  
**BUILDING PERMIT**  
3742394142365/V1 16/01/2023  
PERMIT NO. ISSUE DATE  
ROD BETHUNE AND ASSOCIATES PTY LTD

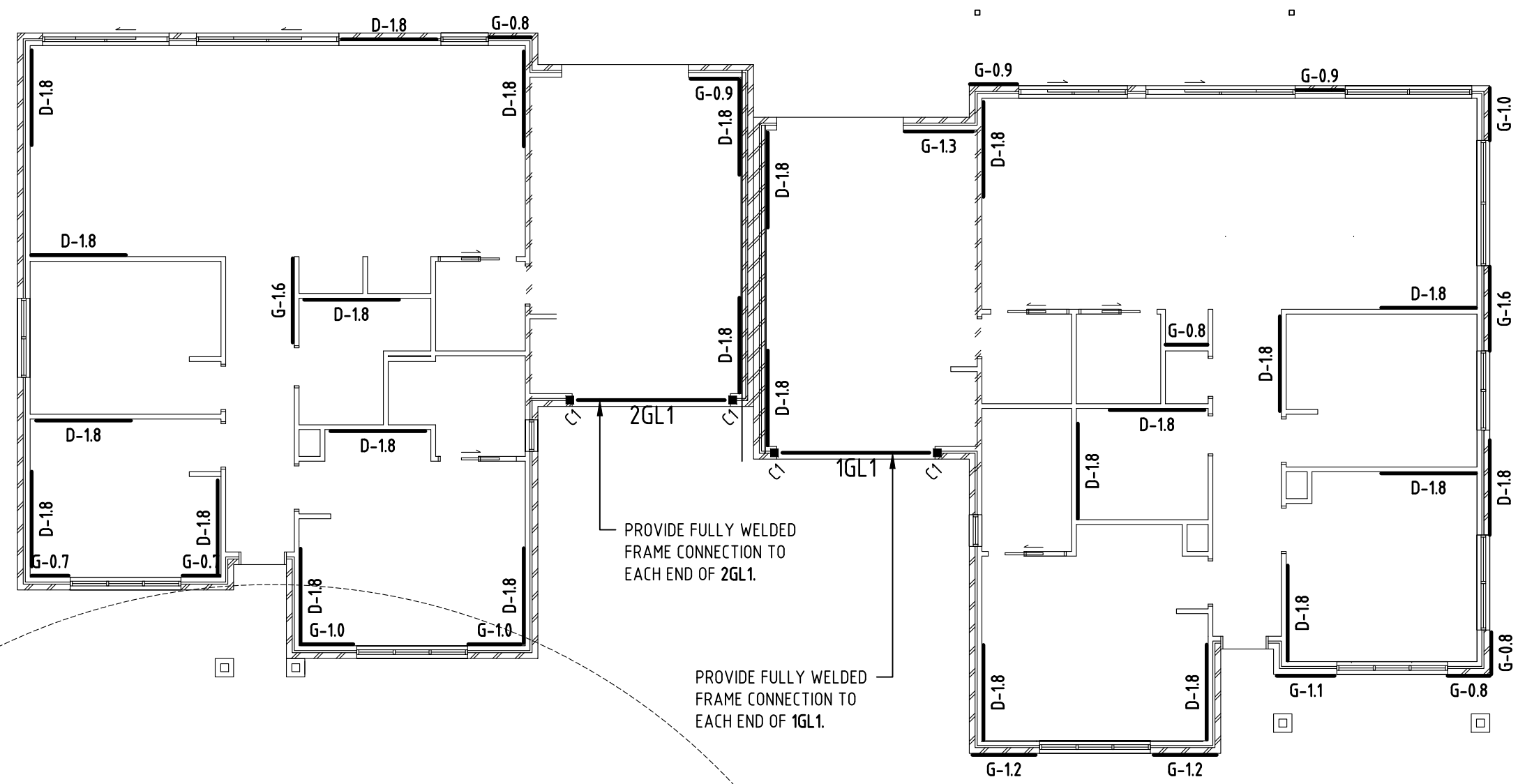
N2 - 40m/s GUST SPEED  
BRACING REQUIREMENT

TYPE G: PLYWOOD BRACING  
TYPE D: DOUBLE DIAGONAL STRAP BRACING

ROOF BRACING BY TRUSS MANUFACTURER

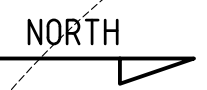
PROVIDE TERMITE PROTECTION IN  
ACCORDANCE WITH AS 3660


PROVIDE BUSHFIRE PROTECTION  
(BAL-12.5) IN ACCORDANCE  
WITH AS 3959

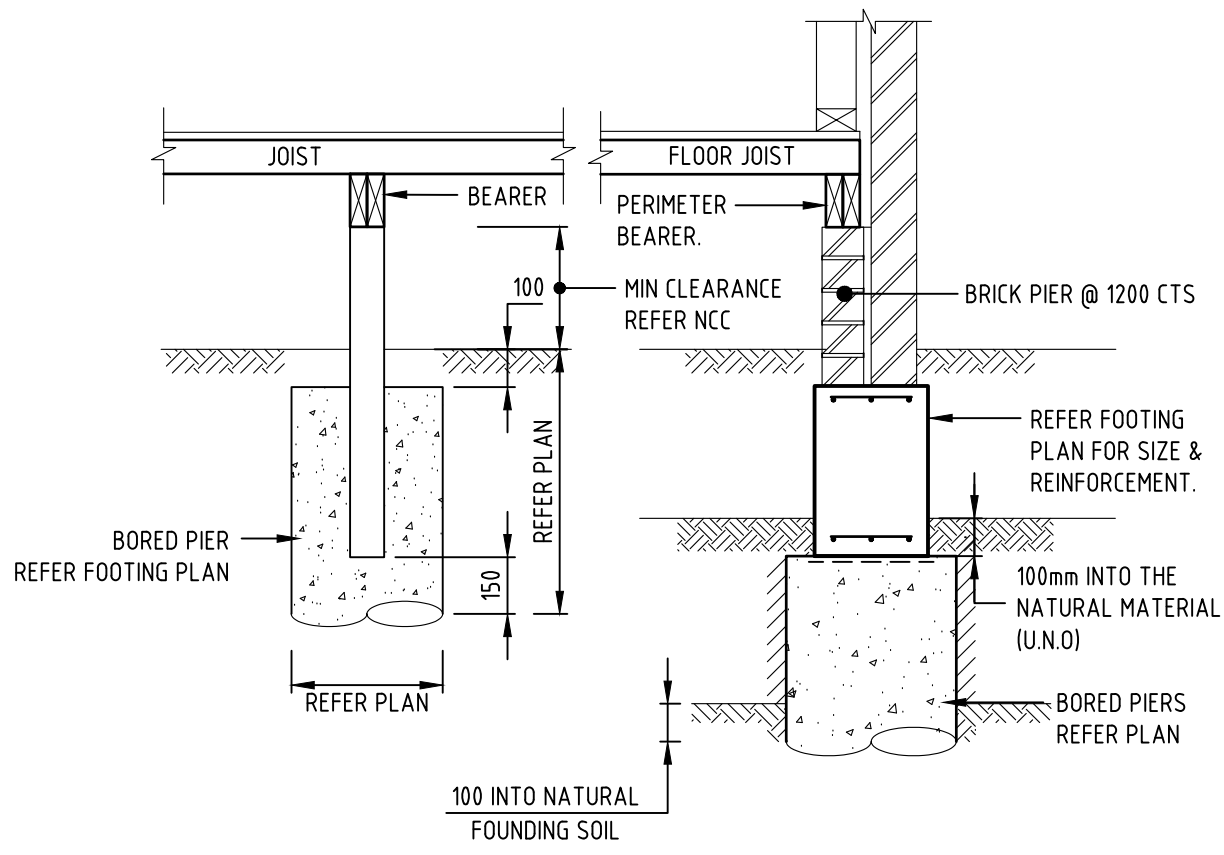


DWELLING 2

DWELLING 1



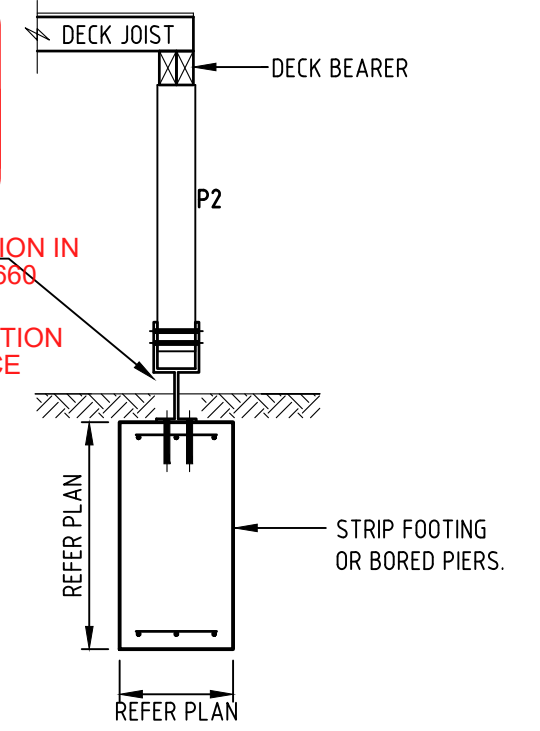
REV	DESCRIPTION	DATE	PROJECT ADDRESS	DRAWING TITLE	 Engineering Solutions MULTI DISCIPLINE CONSULTING ENGINEERS PHONE: 9830 0669 WEB: www.pmdesign.com.au	DESIGN D.C	REVISION C
1	ISSUED AS PRELIMINARY	07.02.21	No. 19 STATION STREET, GEMBROOK	DWELLING 1 & 2 BRACING PLAN		DRAWN S.S	SCALE 1:100 @ A3
A	ISSUED FOR CONSTRUCTION	12.01.23		CLIENT	COLIN PARKES	SHEET NO.	JOB NO.
B	ISSUED FOR CONSTRUCTION	19.01.23				S21	13804
C	ISSUED FOR CONSTRUCTION	30.01.23					



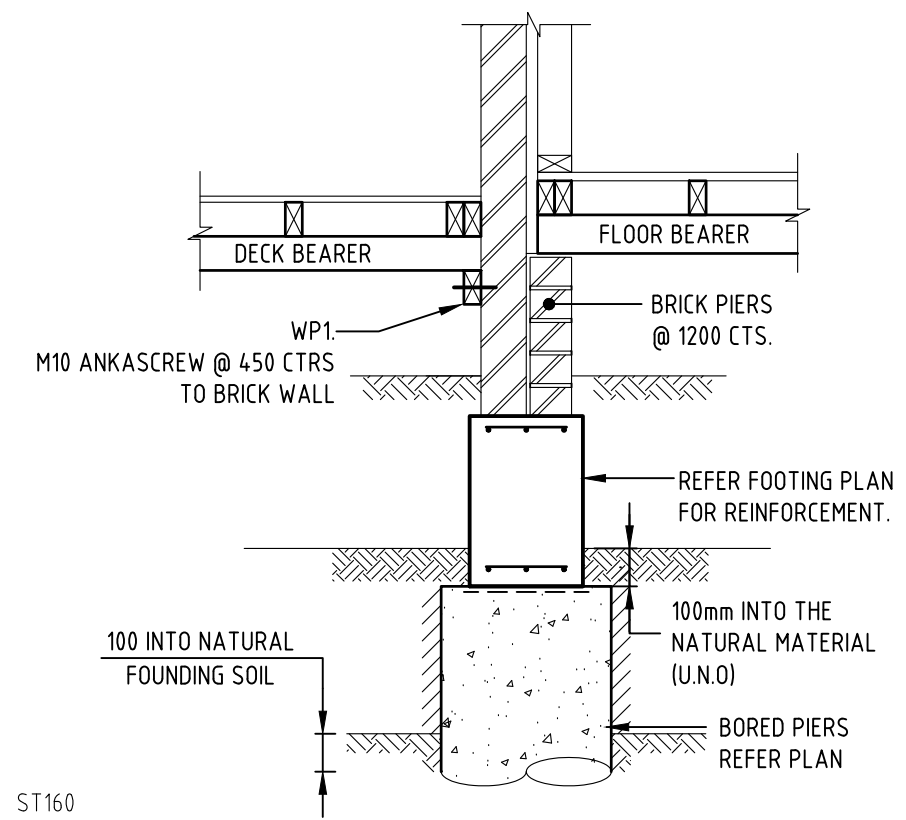
**TYPICAL STRIP & BRICK PIER DETAIL**

Building Act 1993  
BUILDING REGULATIONS 2018  
**BUILDING PERMIT**  
3742394142365/V1 16/01/2023  
PERMIT NO. ISSUE DATE  
ROD BETHUNE AND ASSOCIATES PTY LTD

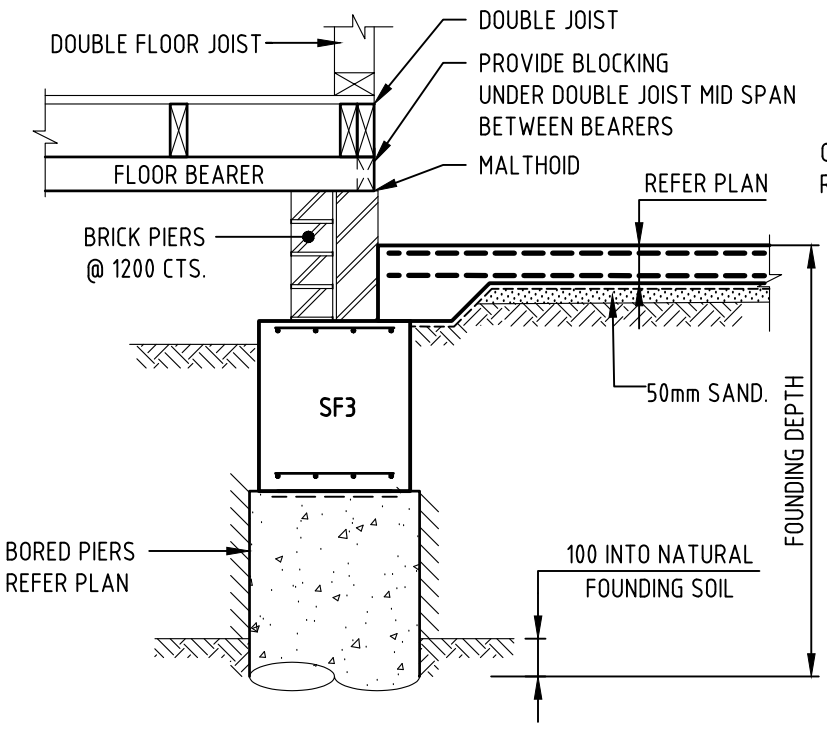
PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS 3668  
GALVANISED STIRRUP 2/M12 DYNABOLTS TO FOOTING  
PROVIDE BUSHFIRE PROTECTION (BAL-12.5) IN ACCORDANCE WITH AS 3959



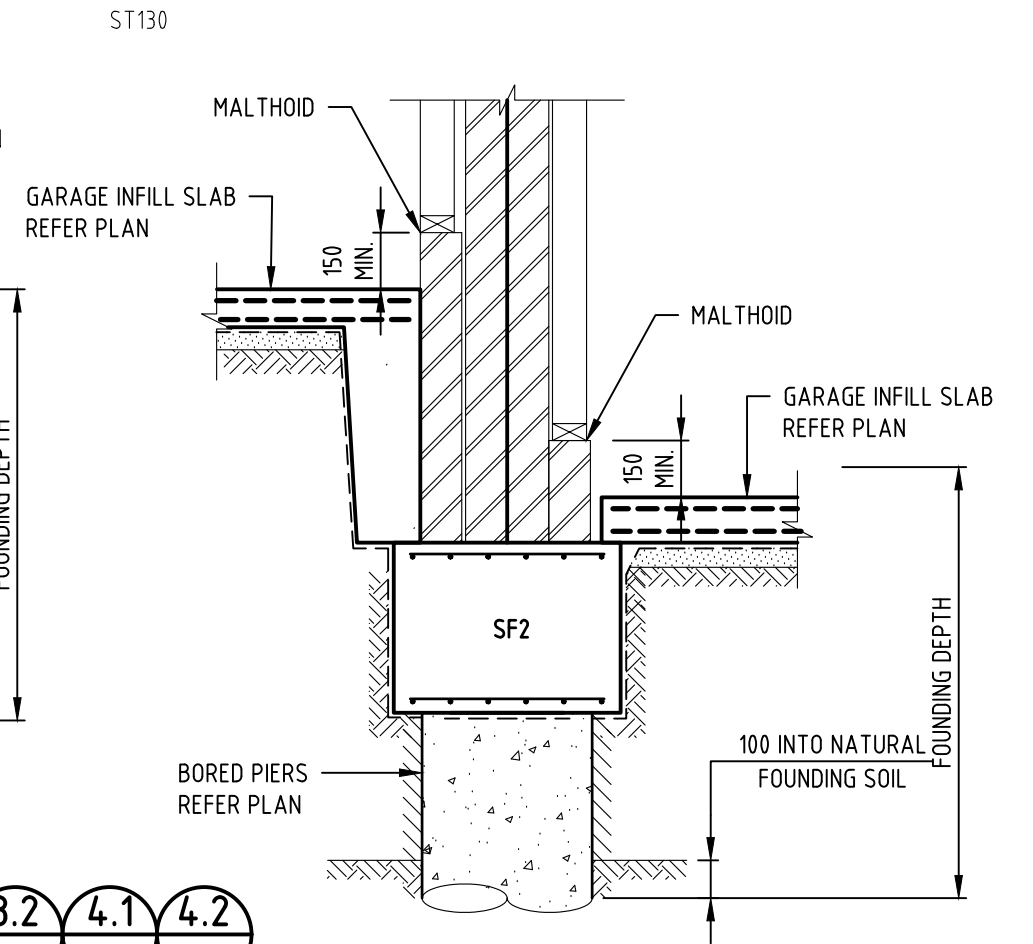
**TYPICAL DECK STUMP (P2) DETAIL**



**DECK TO SUB-FLOOR AT BRICK WALL**



**SECTION 3.1 3.2 4.1 4.2**  
SCALE AS SHOWN



REV	DESCRIPTION	DATE
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C	ISSUED FOR CONSTRUCTION	30.01.23

PROJECT ADDRESS  
**No. 19 STATION STREET,  
GEMBROOK**

DRAWING TITLE  
**FOOTING DETAILS 1**

CLIENT  
**COLIN PARKES**

**PM DESIGN GROUP**  
Engineering Solutions  
www.pmdesign.com.au

MULTI DISCIPLINE CONSULTING ENGINEERS  
PHONE: 9830 0669  
WEB: www.pmdesign.com.au

DESIGN	D.C	REVISION	C
DRAWN	S.S	SCALE	N/A @ A3
SHEET NO.	S30	JOB NO.	13804



REFER PLAN FOR ALL  
SLAB, BEAM AND  
REINFORCEMENT DETAILS

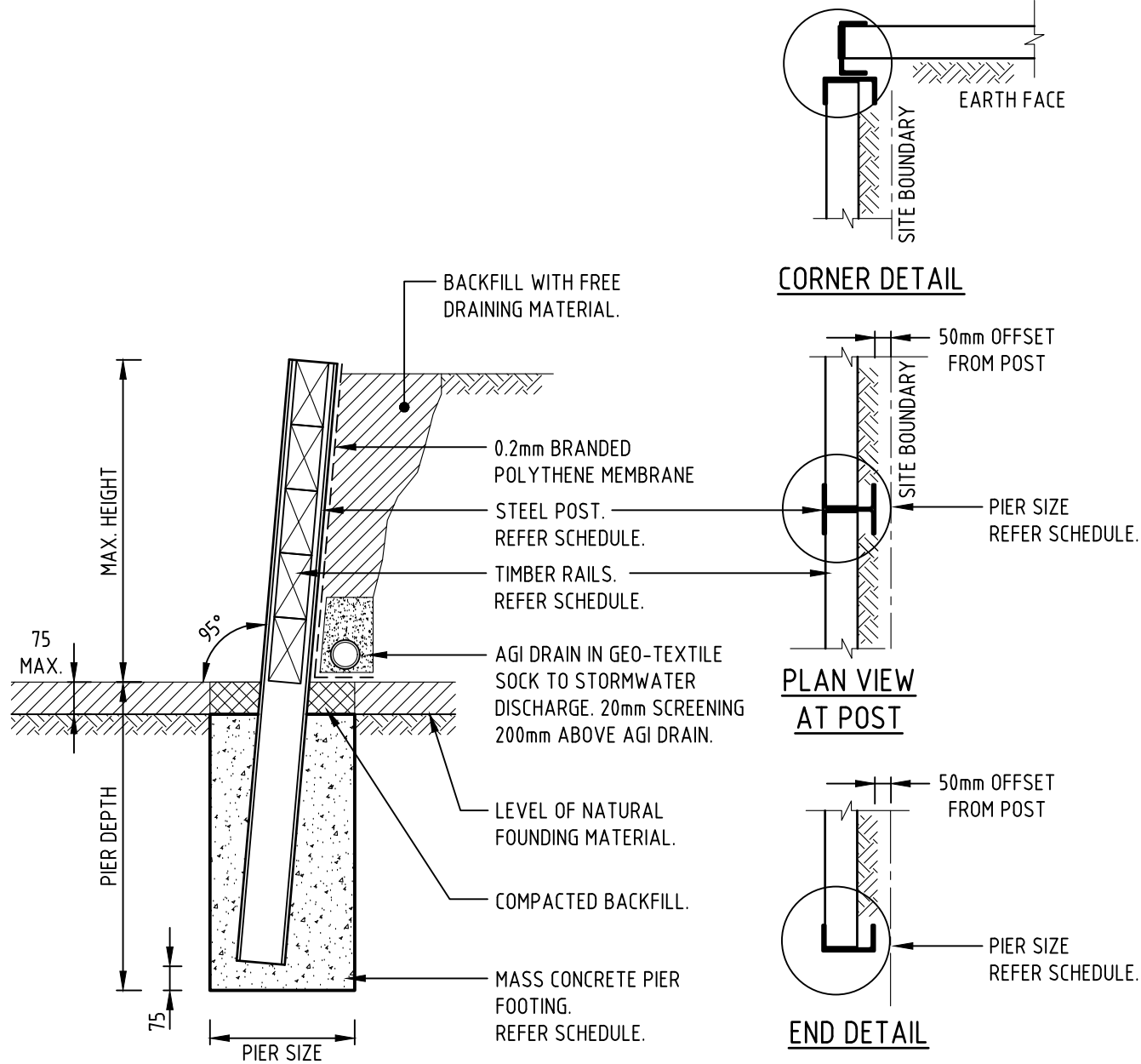
Building Act 1993  
BUILDING REGULATIONS 2018

**BUILDING PERMIT**

3742394142365/V1    16/01/2023  
PERMIT NO.    ISSUE DATE

ROD BETHUNE AND ASSOCIATES PTY LTD

PROVIDE TERMITE PROTECTION IN  
ACCORDANCE WITH AS 3660



PROVIDE BUSHFIRE PROTECTION  
(BAL-12.5) IN ACCORDANCE  
WITH AS 0985

**RETAINING WALL SCHEDULE  
(STEEL POSTS) - RAILS TO BE F7 TREATED PINE**

MAX. WALL HEIGHT	0 - 600mm	601 - 1000mm
POST SIZE	100 UC 15	100 UC 15
POST SPACING	2400mm	1200mm
RAIL SIZE	200 x 75	200 x 75
PIER SIZE	300 DIA.	300 DIA.
PIER DEPTH	850mm	850mm

- NOTES**
- ALL TIMBER POSTS & RAILS ARE TO BE F7 TREATED PINE (TREATED TO H4 OR BETTER) WITH LIMITED UNTREATED HEARTWOOD - LIMIT 20%.
  - ALL STEEL POSTS ARE TO BE HOT DIP GALVANISED.
  - IF THE HEIGHT OF THE RETAINING WALL EXCEEDS THE HEIGHT NOTED, THIS OFFICE IS TO BE CONTACTED FOR FURTHER ADVICE.
  - THIS RETAINING WALL HAS BEEN DESIGNED FOR A SURCHARGE OF 5kPa.
  - THE PIER FOOTINGS HAVE BEEN DESIGNED FOR A MINIMUM BEARING PRESSURE OF 70 kPa.
  - FOOTINGS MUST BE FULLY FOUNDED INTO THE NATURAL STIFF SOIL.

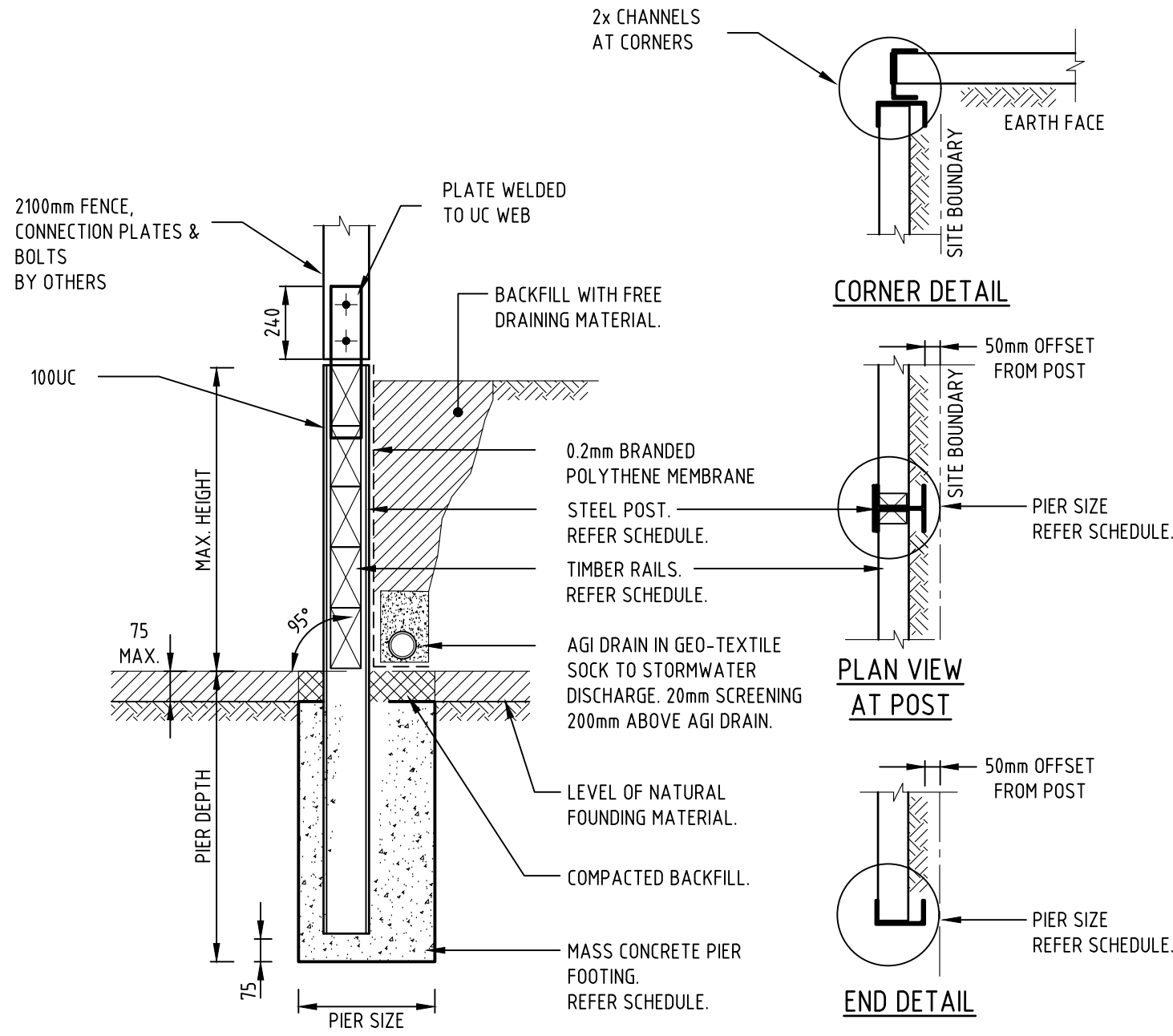
**TYPICAL SLEEPER RETAINING WALL (STEEL POSTS)  
(RW1)**

REV	DESCRIPTION	DATE	PROJECT ADDRESS	DRAWING TITLE		DESIGN	D.C	REVISION	C
1	ISSUED AS PRELIMINARY	07.02.21	No. 19 STATION STREET, GEMBROOK	FOOTING DETAILS 2		DRAWN	S.S	SCALE	N/A @ A3
A	ISSUED FOR CONSTRUCTION	12.01.23		CLIENT	MULTI DISCIPLINE CONSULTING ENGINEERS	SHEET NO.		JOB NO.	
B	ISSUED FOR CONSTRUCTION	19.01.23		COLIN PARKES	PHONE: 9830 0669	S31		13804	
C	ISSUED FOR CONSTRUCTION	30.01.23			WEB: www.pmdesign.com.au				

Building Act 1993  
BUILDING REGULATIONS 2018  
**BUILDING PERMIT**  
3742394142365/V1 16/01/2023  
PERMIT NO. ISSUE DATE  
ROD BETHUNE AND ASSOCIATES PTY LTD

PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS 3660


PROVIDE BUSHFIRE PROTECTION (BAL-12.5) IN ACCORDANCE WITH AS 3959



RETAINING WALL SCHEDULE (STEEL POSTS) - RAILS TO BE F7 TREATED PINE		
MAX. WALL HEIGHT	0 - 600mm	601 - 1000mm
POST SIZE	100 UC 15	100 UC 15
POST SPACING	1500mm	1200mm
RAIL SIZE	200 x 75	200 x 75
PIER SIZE	300 DIA.	300 DIA.
PIER DEPTH	850mm	850mm

- NOTES**
- ALL TIMBER POSTS & RAILS ARE TO BE F7 TREATED PINE (TREATED TO H4 OR BETTER) WITH LIMITED UNTREATED HEARTWOOD - LIMIT 20%.
  - ALL STEEL POSTS ARE TO BE HOT DIP GALVANISED.
  - IF THE HEIGHT OF THE RETAINING WALL EXCEEDS THE HEIGHT NOTED, THIS OFFICE IS TO BE CONTACTED FOR FURTHER ADVICE.
  - THIS RETAINING WALL HAS BEEN DESIGNED FOR A SURCHARGE OF 5kPa.
  - THE PIER FOOTINGS HAVE BEEN DESIGNED FOR A MINIMUM BEARING PRESSURE OF 70 kPa.
  - FOOTINGS MUST BE FULLY FOUNDED INTO THE NATURAL STIFF SOIL.

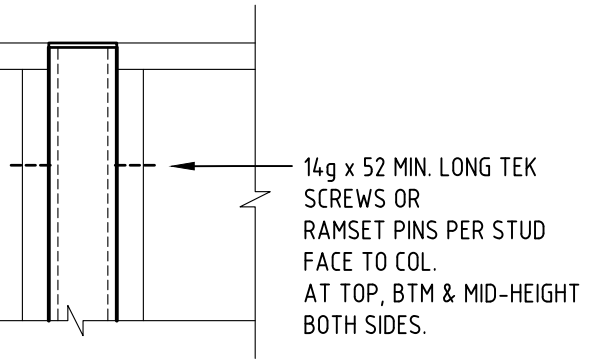
**TYPICAL SLEEPER RETAINING WALL (STEEL POSTS)  
(RW2)**

REV	DESCRIPTION	DATE	PROJECT ADDRESS	DRAWING TITLE		DESIGN	D.C	REVISION	C	
1	ISSUED AS PRELIMINARY	07.02.21	No. 19 STATION STREET, GEMBROOK	FOOTING DETAILS 3		MULTI DISCIPLINE CONSULTING ENGINEERS PHONE: 9830 0669 WEB: www.pmdesign.com.au	DRAWN	S.S	SCALE	N/A @ A3
A	ISSUED FOR CONSTRUCTION	12.01.23		CLIENT	COLIN PARKES		SHEET NO.	S32	JOB NO.	13804
B	ISSUED FOR CONSTRUCTION	19.01.23								
C	ISSUED FOR CONSTRUCTION	30.01.23								

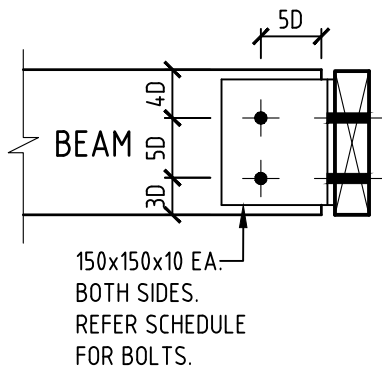
Building Act 1993  
BUILDING REGULATIONS 2018  
**BUILDING PERMIT**  
3742394142365/V1 16/01/2023  
PERMIT NO. ISSUE DATE  
ROD BETHUNE AND ASSOCIATES PTY LTD

PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS 3660

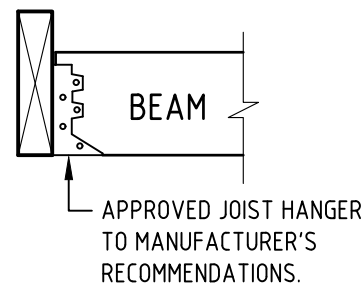
PROVIDE BUSHFIRE PROTECTION (BAL-12.5) IN ACCORDANCE WITH AS 3959



**STEEL COLUMN TO STUD WALL DETAIL**

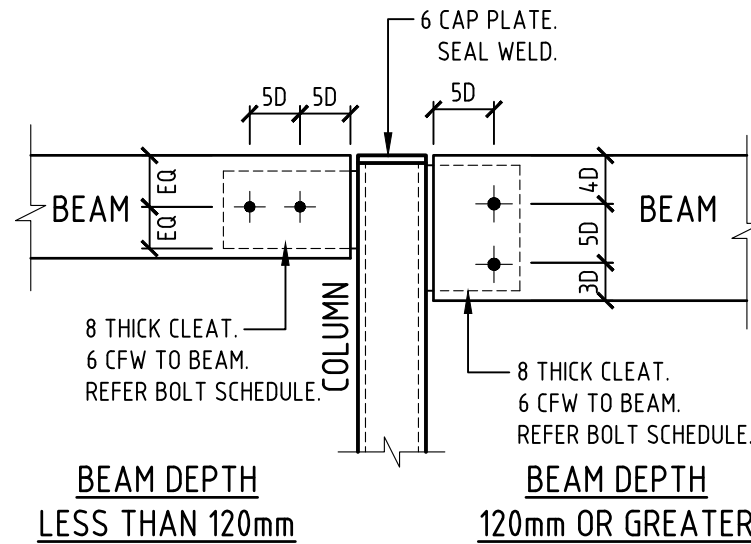


BEAM DEPTH 200mm OR GREATER



BEAM DEPTH 190mm OR LESS

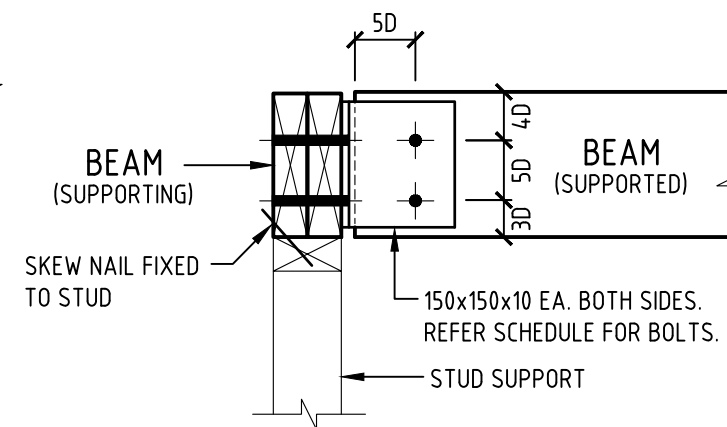
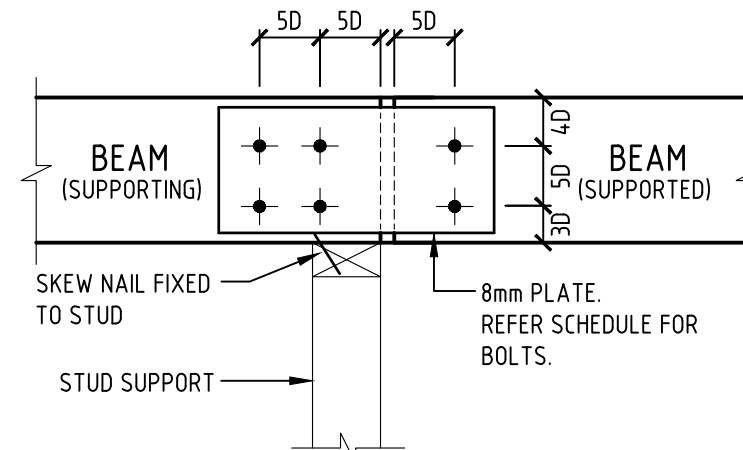
BOLT SCHEDULE (TIMBER BEAMS)	
BEAM DEPTH	BOLTS (D = DIA.)
70 to 90	2-M8 4.6/S
91 to 120	2-M10 4.6/S
121 to 150	2-M12 4.6/S
151 to 300	2-M16 4.6/S
301 to 400	3-M16 4.6/S



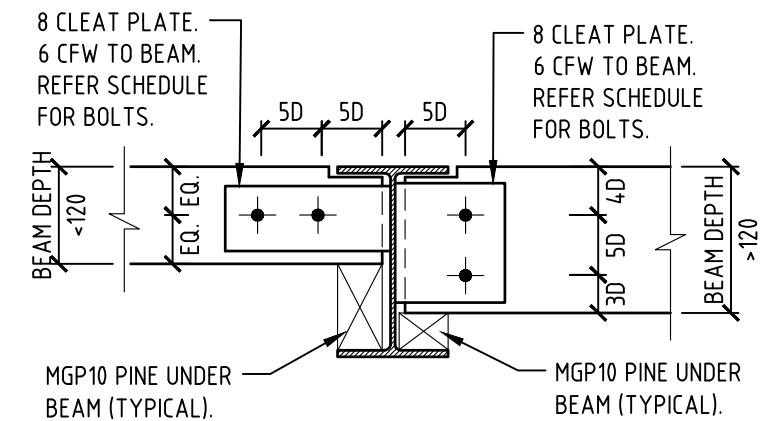
BEAM DEPTH LESS THAN 120mm

BEAM DEPTH 120mm OR GREATER

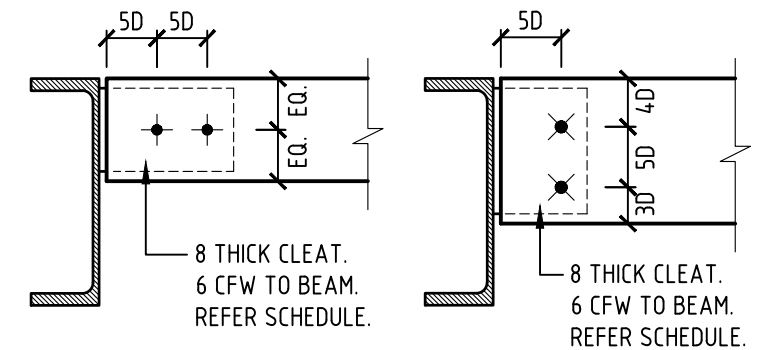
**TIMBER BEAM CONNECTION TO SIDE OF STEEL COLUMN**



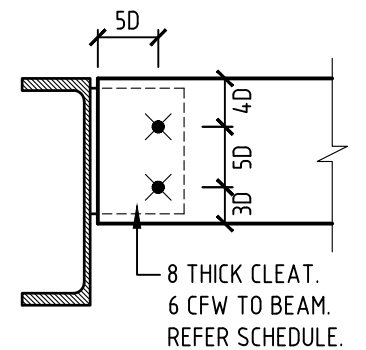
**TIMBER BEAM TO TIMBER BEAM WHERE ON COMMON STUD**



**FIXING TO INSIDE OF PFC SIMILAR TIMBER BEAM TO STEEL BEAM CONNECTION DETAIL**



BEAM DEPTH < 120mm

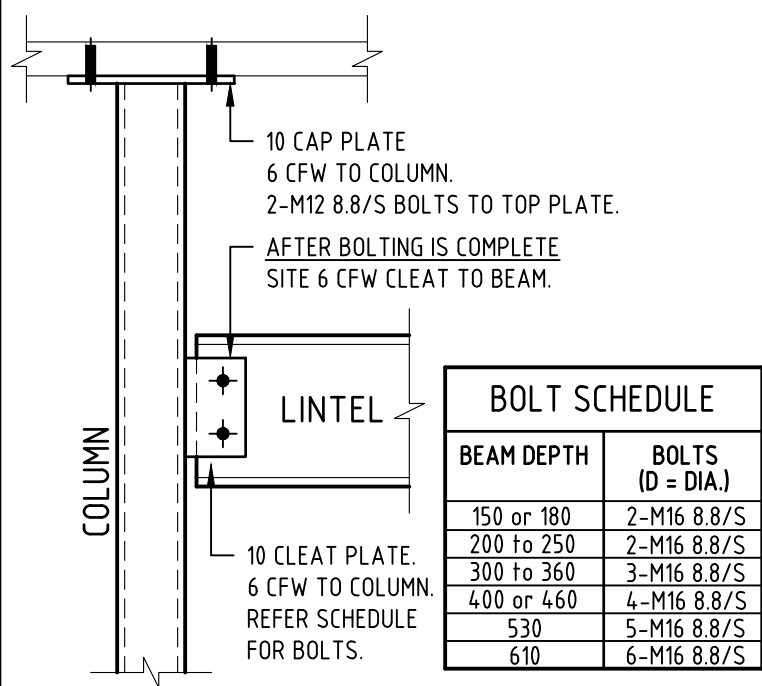


BEAM DEPTH ≥ 120mm

**TIMBER BEAM TO STEEL (PFC) BEAM CONNECTION DETAIL**

**TIMBER BEAM TO TIMBER BEAM CONNECTION DETAIL**

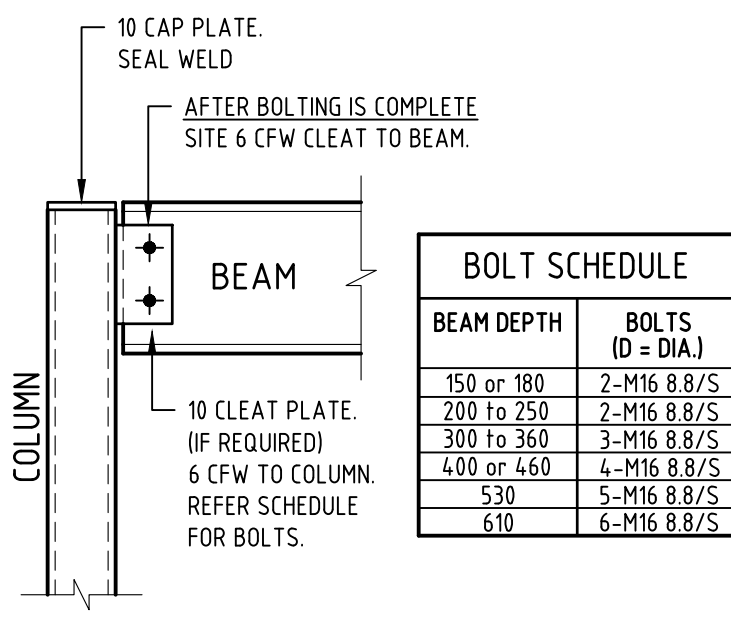
REV	DESCRIPTION	DATE	PROJECT ADDRESS	DRAWING TITLE		DESIGN	D.C	REVISION	C	
1	ISSUED AS PRELIMINARY	07.02.21	No. 19 STATION STREET, GEMBROOK	FRAMING DETAILS 1		www.pmdesign.com.au	DRAWN	S.S	SCALE	N/A @ A3
A	ISSUED FOR CONSTRUCTION	12.01.23		CLIENT	COLIN PARKES	MULTI DISCIPLINE CONSULTING ENGINEERS	SHEET NO.	S40	JOB NO.	13804
B	ISSUED FOR CONSTRUCTION	19.01.23				PHONE: 9830 0669				
C	ISSUED FOR CONSTRUCTION	30.01.23				WEB: www.pmdesign.com.au				



BOLT SCHEDULE	
BEAM DEPTH	BOLTS (D = DIA.)
150 or 180	2-M16 8.8/S
200 to 250	2-M16 8.8/S
300 to 360	3-M16 8.8/S
400 or 460	4-M16 8.8/S
530	5-M16 8.8/S
610	6-M16 8.8/S

**STEEL LINTEL CONNECTION TO SIDE OF STEEL COLUMN**

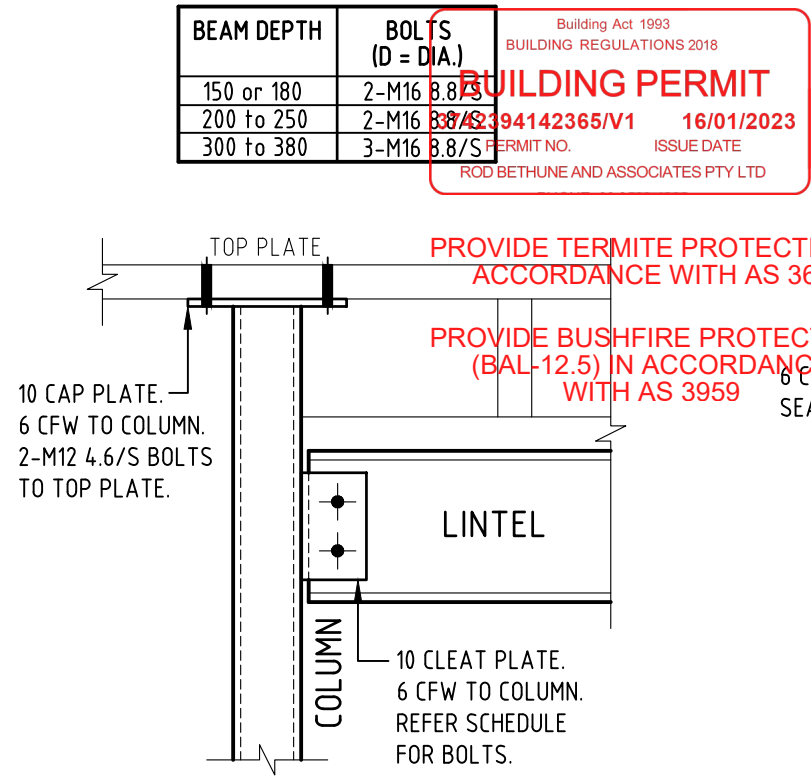
'MOMENT' CONNECTION



BOLT SCHEDULE	
BEAM DEPTH	BOLTS (D = DIA.)
150 or 180	2-M16 8.8/S
200 to 250	2-M16 8.8/S
300 to 360	3-M16 8.8/S
400 or 460	4-M16 8.8/S
530	5-M16 8.8/S
610	6-M16 8.8/S

**STEEL BEAM CONNECTION TO SIDE OF STEEL COLUMN**

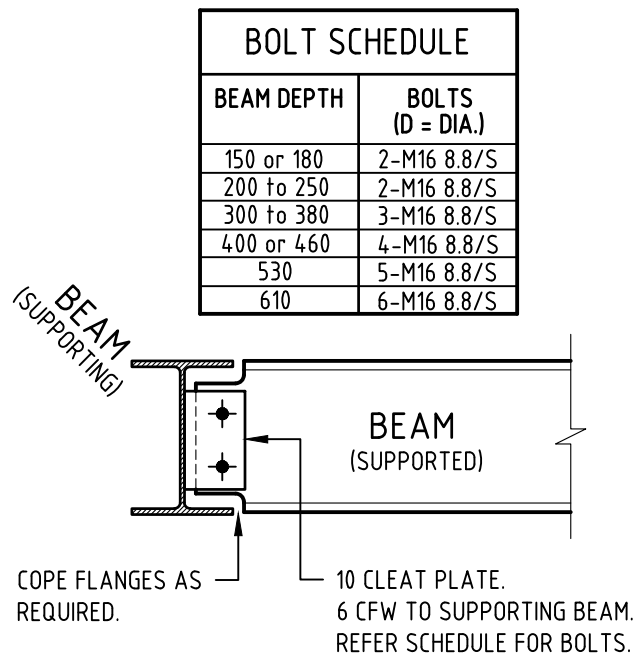
'MOMENT' CONNECTION



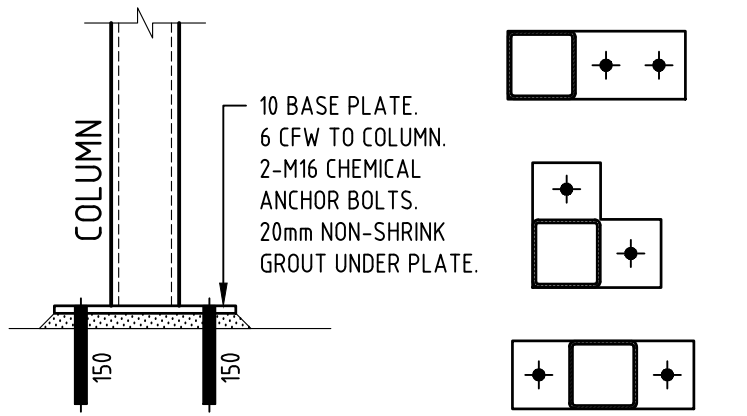
**STEEL LINTEL TO COLUMN DETAIL**

BOLT SCHEDULE	
BEAM DEPTH	BOLTS (D = DIA.)
150 or 180	2-M16 8.8/S
200 to 250	2-M16 8.8/S
300 to 380	3-M16 8.8/S
400 or 460	4-M16 8.8/S
530	5-M16 8.8/S
610	6-M16 8.8/S

**STEEL BEAM CONNECTION TO SIDE OF STEEL COLUMN**

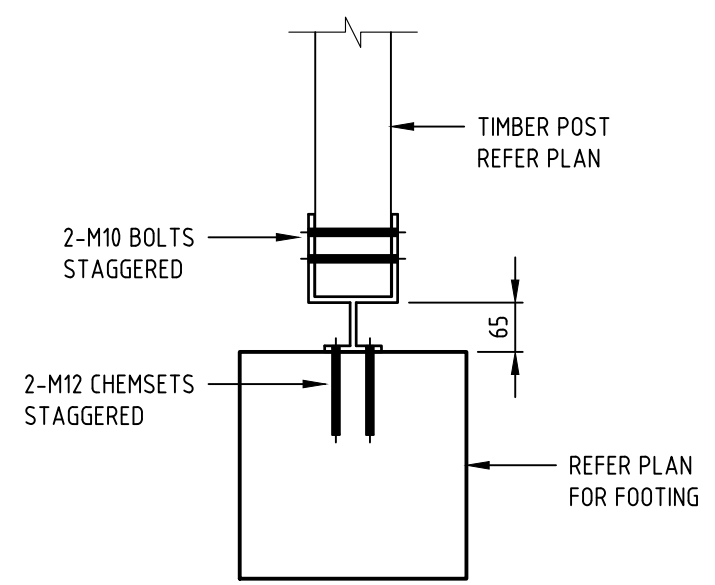


**STEEL BEAM TO STEEL BEAM CONNECTION**

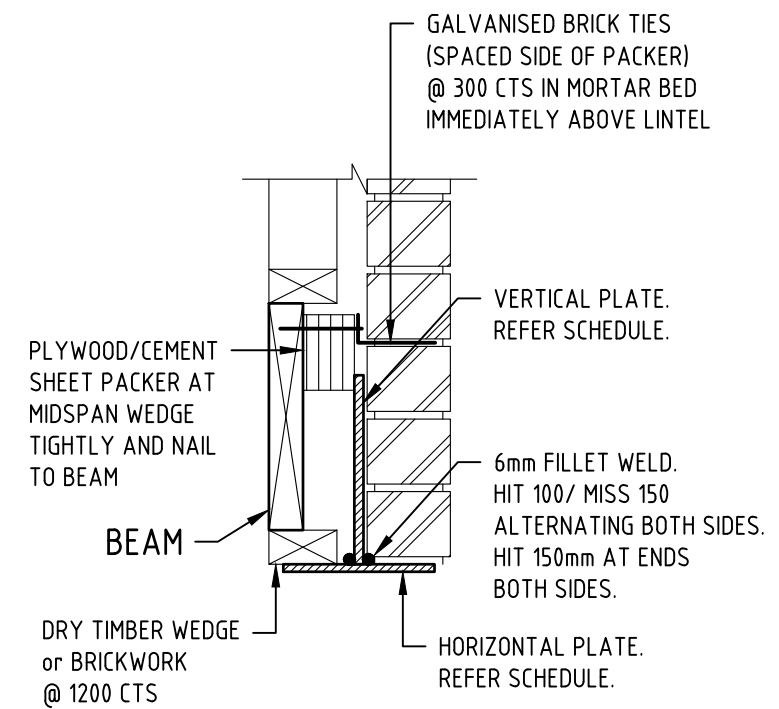


PROVIDE MINIMUM EDGE DISTANCES TO BOLTS (REFER MANUFACTURER'S DETAILS)

**STEEL COLUMN BASE PLATE DETAIL**



**LIVE AND DEAD LOADS - 25kN TYPICAL POST FOOTING DETAIL**



**TYPICAL 'INVERTED TEE'**

REV	DESCRIPTION	DATE
1	ISSUED AS PRELIMINARY	07.02.21
A	ISSUED FOR CONSTRUCTION	12.01.23
B	ISSUED FOR CONSTRUCTION	19.01.23
C	ISSUED FOR CONSTRUCTION	30.01.23

PROJECT ADDRESS  
No. 19 STATION STREET,  
GEMBROOK

DRAWING TITLE  
FRAMING DETAILS 2  
CLIENT  
COLIN PARKES

**PM DESIGN GROUP**  
Engineering Solutions  
www.pmdesign.com.au  
MULTI DISCIPLINE CONSULTING ENGINEERS  
PHONE: 9830 0669  
WEB: www.pmdesign.com.au

DESIGN	D.C	REVISION	C
DRAWN	S.S	SCALE	N/A @ A3
SHEET NO.	S41	JOB NO.	13804

Building Act 1993  
BUILDING REGULATIONS 2018

**BUILDING PERMIT**

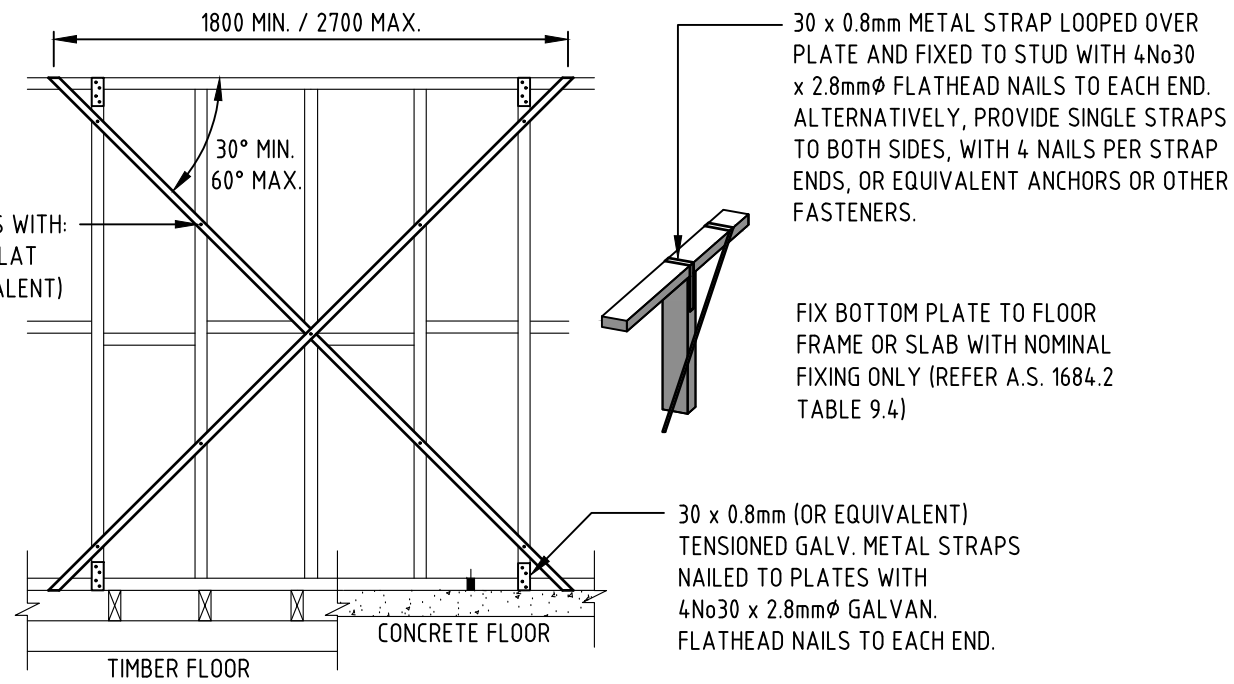
**3742394142365/V1**    **16/01/2023**

PERMIT NO.    ISSUE DATE

ROD BETHUNE AND ASSOCIATES PTY LTD

PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS 3660

PROVIDE BUSHFIRE PROTECTION (BAL-12.5) IN ACCORDANCE WITH AS 3959



### METAL STRAP WALL BRACING (TYPE D)

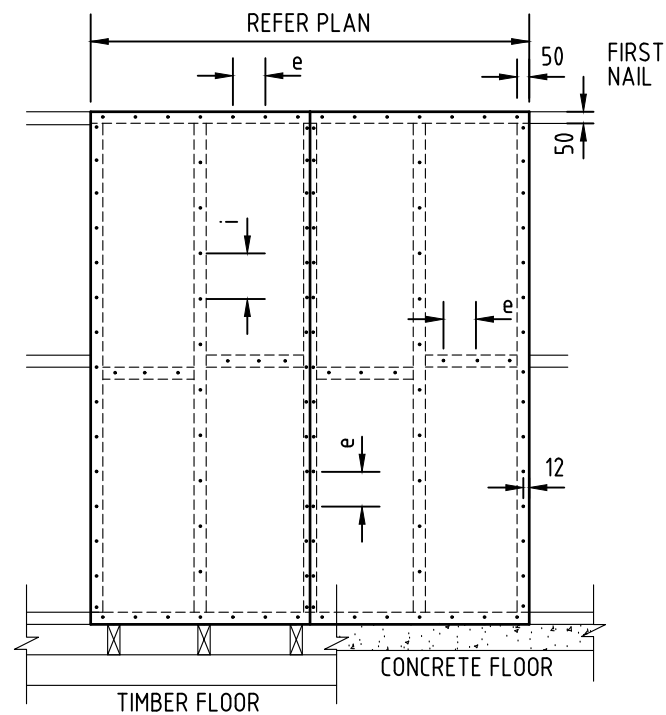
#### PLYWOOD

PLYWOOD PANELS USED MUST COMPLY WITH AS2269 STRUCTURAL PLYWOOD AND DISPLAY AN APPROVED INDUSTRY STANDARD STAMP. THE MINIMUM GRADE SPECIFICATION FOR PLYWOOD BRACING IS D/D GRADE.

PLYWOOD STRESS GRADE	MIN PLYWOOD THICKNESS (mm)	
	450mm	600mm
F8	7	9
F11	6	7
F14	4	6
F27	4	4.5

#### FASTENER CENTRES

e - 150mm TOP, BOTTOM, NOGGINS AND VERTICAL EDGES  
i - 300mm INTERMEDIATE STUDS  
VERTICAL BUTT JOINTS PERMITTED PROVIDED FIXED TO NOGGING AT 150mm CTS.  
NAILING 2.8mm DIA. FLATHEAD NAILS x 30mm LONG.



### PLYWOOD WALL BRACING (TYPE G)

REV	DESCRIPTION	DATE	PROJECT ADDRESS	DRAWING TITLE	DESIGN	D.C	REVISION	C
1	ISSUED AS PRELIMINARY	07.02.21	No. 19 STATION STREET, GEMBROOK	WALL BRACING DETAILS	PM DESIGN GROUP			
A	ISSUED FOR CONSTRUCTION	12.01.23			Engineering Solutions			SCALE N/A @ A3
B	ISSUED FOR CONSTRUCTION	19.01.23		CLIENT	MULTI DISCIPLINE CONSULTING ENGINEERS		SHEET NO.	JOB NO.
C	ISSUED FOR CONSTRUCTION	30.01.23		COLIN PARKES	PHONE: 9830 0669 WEB: www.pmdesign.com.au	S50	13804	

28 June 2022

Andrew Brown  
Sketch Building Design  
554-556 Glenhuntly Road  
ELSTERNWICK VIC 3185

a.brown@sketchbuildingdesign.com.au

Dear Andrew,

**Application No.:** T200834 PC1 & PC2 (Con. 05)  
**Property No.:** 5000024684  
**Address:** L2-3 PS804664Q, 19A & 19B Station Road, Gembrook VIC 3783  
**Proposal:** Plans to Comply

I refer to the above planning permit and your application to comply with permit conditions.

I wish to advise that the plans have been approved under Conditions 5 of the permit.

Please find enclosed your copy of the approved endorsed plans. These plans now form part of the planning permit and should be attached to the permit and kept in a safe place for future reference.

If you have any further queries regarding this matter, please contact Council's Planning and Design Team on **03 5943 4511** or [mail@cardinia.vic.gov.au](mailto:mail@cardinia.vic.gov.au).

Yours faithfully,



**Evangeline McGauley-Kennedy**  
Senior Statutory Planner

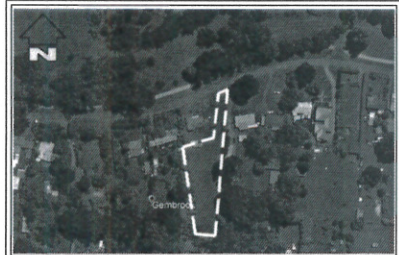
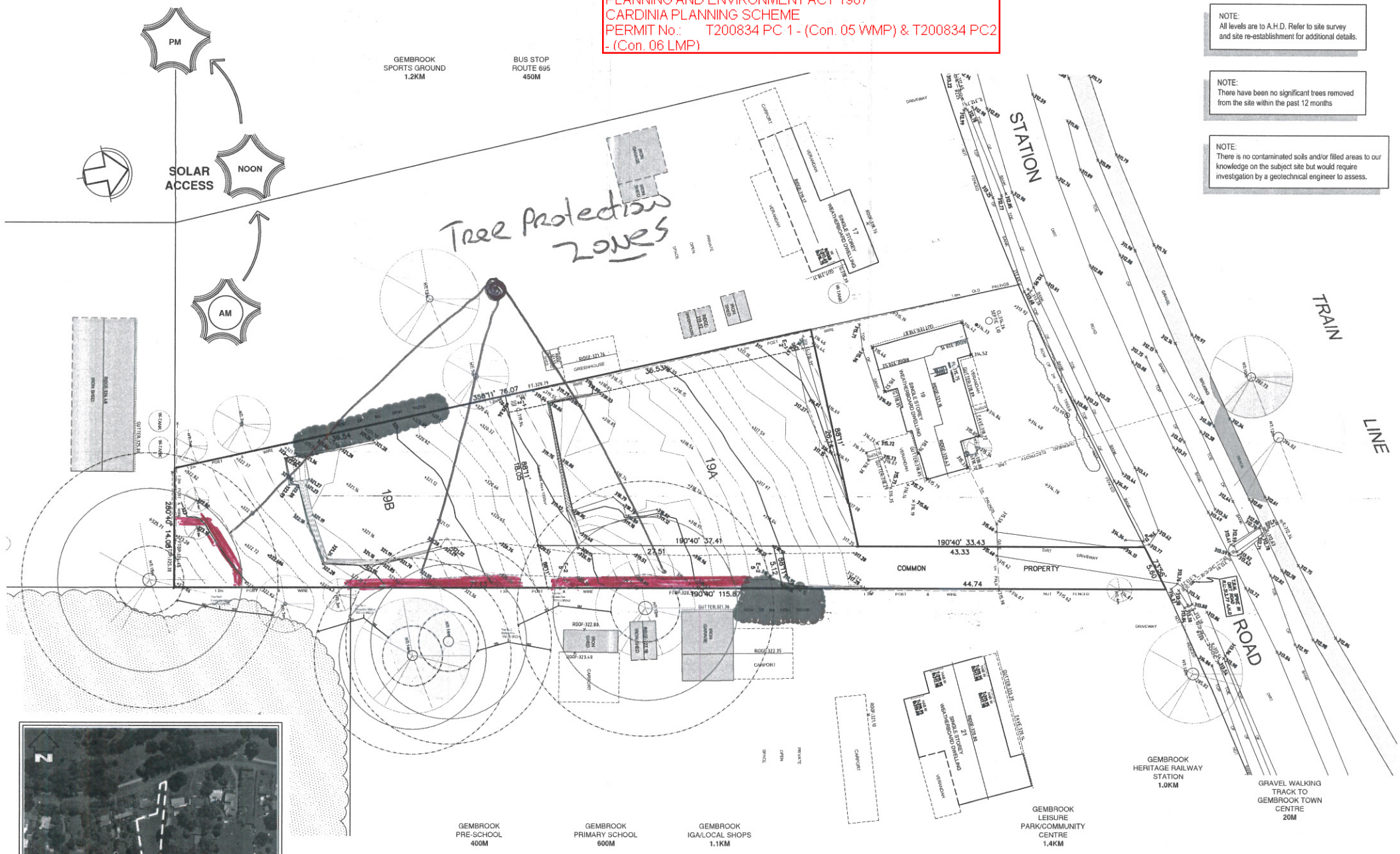
APPROVED AMENDED PLAN  
 PLANNING AND ENVIRONMENT ACT 1987  
 CARDINIA PLANNING SCHEME  
 PERMIT No.: T200834 PC 1 - (Con. 05 WMP) & T200834 PC 2  
 - (Con. 06 LMP)

NOTE:  
 All levels are to A.H.D. Refer to site survey  
 and site re-establishment for additional details.

NOTE:  
 There have been no significant trees removed  
 from the site within the past 12 months

NOTE:  
 There is no contaminated soils and/or filled areas to our  
 knowledge on the subject site but would require  
 investigation by a geotechnical engineer to assess.

Dr. Peter Yau: Tree Protection Plan



SITE LOCATION  
 NOT TO SCALE  
 MELWAYS REF: 312 H9

EXISTING SITE LAYOUT, SITE CONTEXT  
 AND NEIGHBOURHOOD DESCRIPTION PLAN  
 SCALE 1:200

Revision	Description	Date	Revision	Description	Date
A	FURTHER INFORMATION REQUEST	29/01/2021			
B	FURTHER INFORMATION REQUEST	11/06/2021			
C	FURTHER INFORMATION REQUEST	16/08/2021			

Builder / Contractor shall verify all dimensions before any work commences. This makes allows are recorded within dimensions shall take precedence over scale dimensions. Any discrepancies are to be made known to Sketch Building Designer's office. All drawings to be read accordance with engineering detail drawings, specifications and any relevant schedules.

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**SKETCH**  
 BUILDING DESIGN

Client:  
 COLIN PARKES  
 Drawn: A.B. Scale: 1:200 @ A1  
 Checked: M.M. Date: AUG 2021

Job Address:  
 NO. 19 STATION STREET  
 GEMBROOK VIC. 3783  
 Job / Draw No:  
 P21032

**PSY Inv Pty Ltd** ACN 066 791 231 ABN 71 795 544 198  
7 Maureen Street Mount Waverley VIC 3149  
Arboricultural Consultant – Chartered Biologist  
M +61 419 559658 E psyau@psy.com.au



## ARBORICULTURAL REPORT

**PROPERTY:** L1 LP126087, 19a & 19b Station Road, Gembrook, VIC 3783  
**Client:** Ranges Lifestyle Living Pty Ltd

**Our Ref:** PSY/2021/0420

**Date of Inspection:** 7 April 2021

**Date of report:** 20 April 2021

by Dr Peter Yau

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T200834 PC 1 - (Con. 05 WMP) & T200834 PC2 - (Con.  
06 LMP)  
SHEET: 9 OF 26  
APPROVED BY: Evie McGauley-Kennedy  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 27 June 2022

### INTRODUCTION

The client (**Ranges Lifestyle Living Pty Ltd**) proposes to construct five new dwelling units in the rear portion of the above property.

The Cardinia Council in an email dated 17 March 2021 has raised the following concerns that need response:

*The Environment and Heritage Unit has reviewed the application. We are concerned about potential construction impacts to the neighbouring trees.*

*The arborist must be provided with the following plans - drainage, utilities (gas, water, electric), excavation, fill, methods to construct driveways. **These will need to be incorporated into the arborist report and adequately addressed.***

*Whilst the new dwellings only have a minor encroachment on the neighbours trees, if we also consider the impacts of the driveway, utilities and earthworks the trees **could have major impacts.***

*The neighbouring trees must not have major impacts, they are large habitat trees that have a useful life expectancy in excess of 50 years.*

*The applicant will likely need to revise their design to adequately protect the trees.*

*The applicant needs to provide a landscaping plan showing they can suitably maintain and enhance the environmental and rural view lines from the Puffing billy Railway Line. There does not appear to be sufficient space to plant canopy trees or large shrubs to soften the effects of 5 new dwellings on the site or provide suitable revegetation and support of the Puffing billy biolink corridor.*

This report has been commissioned by the client to respond to the above Council concerns.

A plan of this development proposal had been provided for this report – attachment.

### • METHODOLOGY OF TREE ASSESSMENT

Tree Assessment Methodology was by means of VTA method (Visual Tree Assessment as per Matthecks).

Tree size DBH measurements were made with tape measure, and tree height with clinometer.

No other tools or instrumentation were used or deemed necessary in this instance.

The report is based on the format and contents in Australian Standard AS4970:2009 – ‘Protection of Trees on Development Sites’.

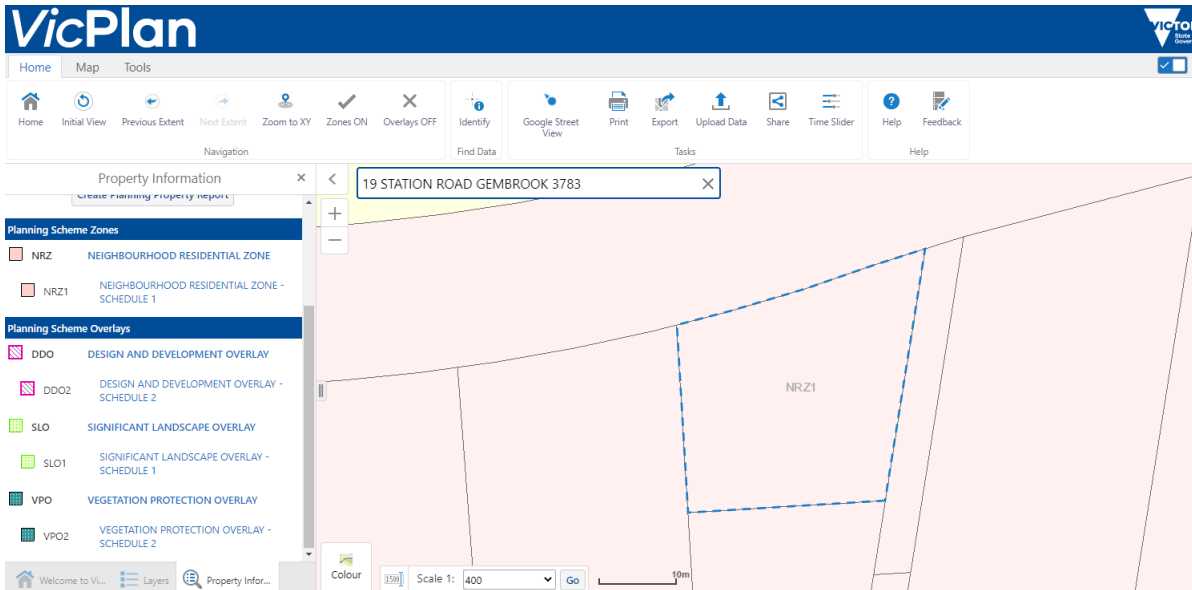


- LIMITATIONS IN TREE ASSESSMENT**

The trees are located in adjoining neighbouring properties, at a setback distance on the other side of the boundary fence, beyond arm's length reach to accurately measure tree trunk size dimensions (eg DBH). Henceforth only a best guess visual estimate can be taken in lieu of an accurately measured DBH-figure.

- PLANNING SCHEME OVERLAYS FOR TREE PROTECTION**

There is **SLO1** and **VPO2** planning overlays on this property and surroundings as shown on the VicPlan Maps



**CARDINIA PLANNING SCHEME**

21/01/2016  
C161

**SCHEDULE 1 TO THE SIGNIFICANT LANDSCAPE OVERLAY**

Shown on the planning scheme map as **SL01**.

**CARDINIA PLANNING SCHEME**

21/01/2016  
C161

**SCHEDULE 2 TO THE VEGETATION PROTECTION OVERLAY**

Shown on the planning scheme map as **VPO2**.

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T200834 PC 1 - (Con. 05 WMP) & T200834 PC2 - (Con. 06 LMP)  
SHEET: 10 OF 26  
APPROVED BY: Evie McGauley-Kennedy  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 27 June 2022



• **ARBORICULTURAL DATA COLLECTED IN TREE ASSESSMENT**

Tree No. 1 – setback 2m behind south boundary fence  
Species: Radiata Pine (*Pinus radiata*)  
DBH: **1300mm**  
**TPZ: 15m radius**  
**SRZ: 4m radius**  
Canopy: 15m  
Height: 35m  
Health: Good  
Structure: Good  
Form: Good  
Significance: Large exotic greenery pine tree – **Environmental Weed species**  
ULE: Long >50 yrs (depending on future tree maintenance)  
Retention: **Neighbour’s tree to be retained**

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T200834 PC 1 - (Con. 05 WMP) & T200834 PC2 - (Con. 06 LMP)  
SHEET: 12 OF 26  
APPROVED BY: Evie McGauley-Kennedy  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 27 June 2022

Tree No. 2 – setback 6.5m behind south boundary fence  
Species: Radiata Pine (*Pinus radiata*)  
DBH: **1000mm**  
**TPZ: 12m radius**  
**SRZ: 3.5m radius**  
Canopy: 15m  
Height: 33m  
Health: Good  
Structure: Good  
Form: Good  
Significance: Large exotic greenery pine tree – **Environmental Weed species**  
ULE: Long >50 yrs (depending on future tree maintenance)  
Retention: **Neighbour’s tree to be retained**

Tree No. 3 – setback 8m behind south boundary fence  
Species: Eucalyptus obliqua (*Messmate Stringybark*)  
DBH: **960mm**  
Canopy: No Canopy - Tree Dead and Top Cut Off - see photo  
Height: 15m  
**Health: Dead - therefore no TPZ needed**  
**Structure: Dead**  
**Form: Poor**  
**Significance: No Significance - Dead Tree with top cut off already - see photo**  
ULE: **NIL**  
Retention: **Neighbour’s tree to be retained – up to neighbour to remove the dead tree**

Tree No. 4 – setback 3m behind west boundary fence  
Species: Eucalyptus obliqua (*Messmate Stringybark*)  
DBH: **1500mm**  
**TPZ: 15m radius**  
**SRZ: 4m radius**  
Canopy: 15m  
Height: 40m  
Health: Good  
Structure: Good  
Form: Good  
Significance: Large native greenery eucalyptus tree for native biodiversity & habitat  
ULE: Long >50 yrs (depending on future tree maintenance)  
Retention: **Neighbour’s tree to be retained**



Pine Tree (T1)



Pine Tree (2)



T3 Euc obliqua – Dead tree - Top Cut Off



T4 Euc obliqua

Tree No. 5 – row of 7x cypress trees, setback 2m behind north boundary fence  
Species: *Cypressus macrocarpa* (*Monterey Cypress*)  
DBH: 200mm  
TPZ: 2.4m radius  
SRZ: 1.5m radius  
Canopy: 3m  
Height: 6m  
Health: Fair  
Structure: Fair  
Form: Fair  
Significance: Small conifer greenery cypress trees for hedge screening & shade  
ULE: Long >50 yrs (depending on future tree maintenance)  
Retention: **Neighbour's trees to be retained**

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T200834 PC 1 - (Con. 05 WMP) & T200834 PC2 - (Con. 06 LMP)  
SHEET: 14 OF 26  
APPROVED BY: Evie McGauley-Kennedy  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 27 June 2022

Tree No. 6 – cedar tree, setback 3.3m behind north boundary fence  
Species: *Cedrus deodara* (*Deodar Cedar*)  
DBH: 400mm  
TPZ: 4.8m radius  
SRZ: 2.0m radius  
Canopy: 6m  
Height: 10m  
Health: Good  
Structure: Good  
Form: Good  
Significance: Medium-Size conifer greenery cedar tree for screening & shade & aesthetics amenity  
ULE: Long >50 yrs (depending on future tree maintenance)  
Retention: **Neighbour's tree to be retained**



T5 Row of 7x Cypress

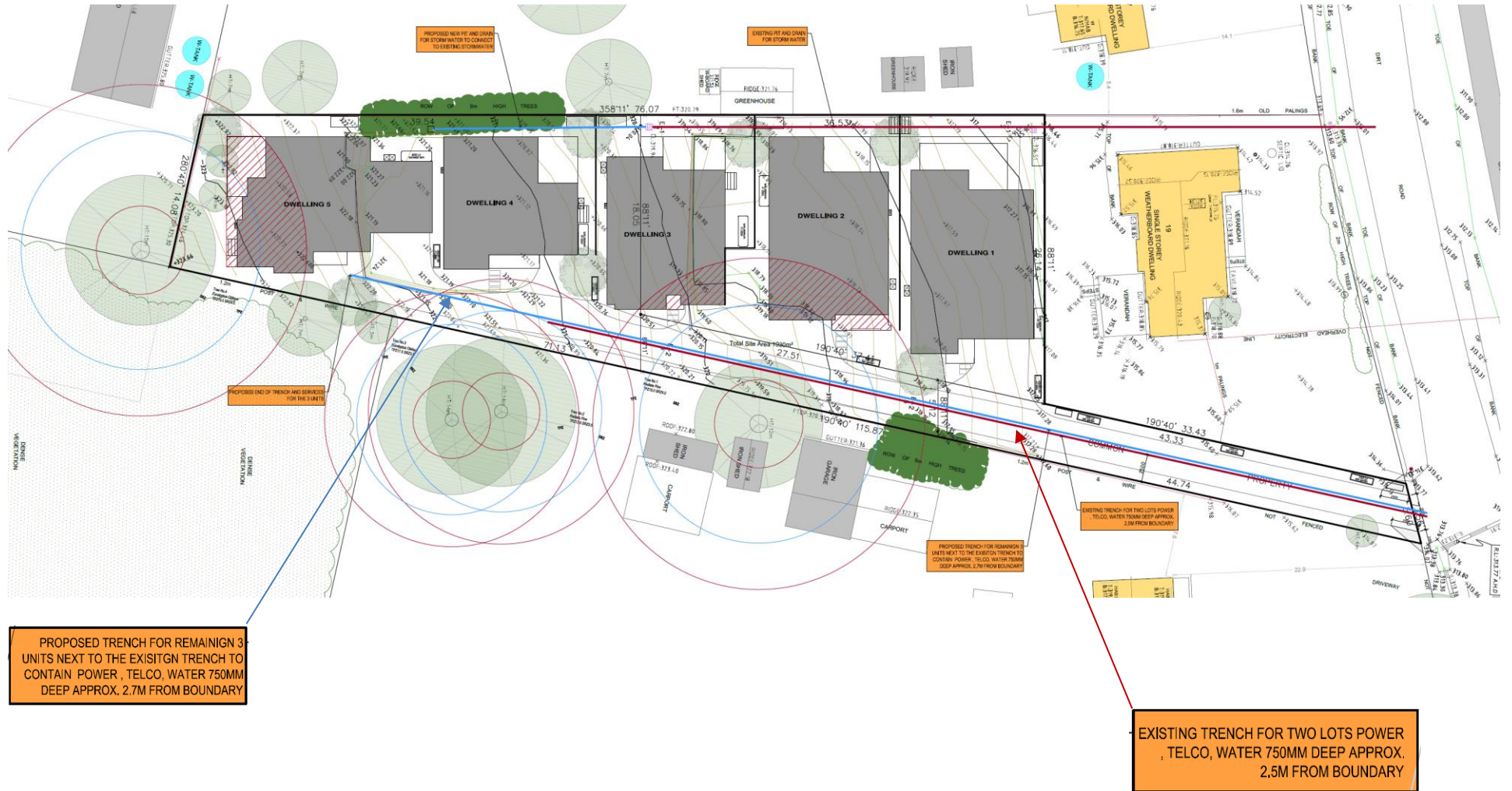


T6 Cedar

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T200834 PC 1 - (Con. 05 WMP) & T200834 PC 2 - (Con. 06 LMP)  
SHEET: 15 OF 26  
APPROVED BY: Evie McGauley-Kennedy  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 27 June 2022

### TREE IMPACT ASSESSMENT

The following plan has been provided for Tree impact assessment:



APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T200834 PC 1 - (Con. 05 WMP) & T200834 PC2 - (Con. 06 LMP)  
SHEET: 16 OF 26  
APPROVED BY: Evie McGauley-Kennedy  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 27 June 2022

## Installation of underground utility services

The current site condition already has a dug trench excavated years ago which is in the middle of the existing driveway. It was done in 2017 with Cardinia Council permit below:

Our ref: T160605  
Your ref: 17294



22 August 2017

Aaron Stewart  
Structural Engineer  
Nettle Engineering  
First Floor 134-138 Thompson Avenue,  
Cowes, Vic 3922

Dear Aaron,

**Re: Drainage Design Approval – 19 Station Rd, Gembrook**

I refer to the stormwater drainage plans C1 and C2/B submitted to Council to comply with Condition 1 of Town Planning Permit T160605.

It is advised that the proposal is satisfactory to Council subject to:

1. *An inspection of the proposed drainage works should be arranged with Councils Development Engineer, prior to backfilling over these works.*

A copy of the plans, endorsed by Council, is enclosed for your records.

If you have any queries regarding the above, please contact Milan Patel of Council's Infrastructure Services unit on 5943 4433.

Yours Sincerely

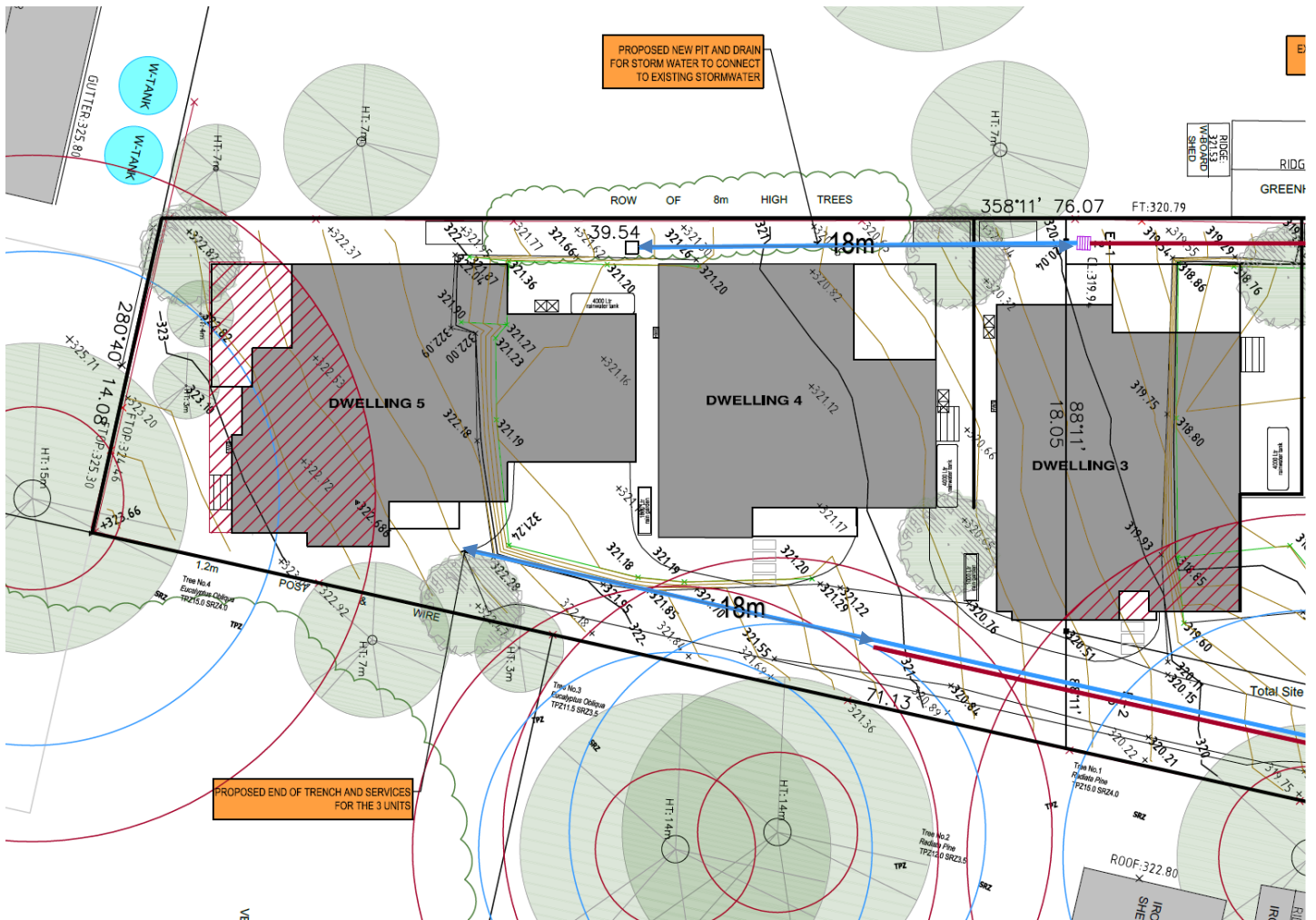
A handwritten signature in black ink, appearing to read "Milan Patel".

**Milan Patel**  
Development Project Engineer

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T200834 PC 1 - (Con. 05 WMMP) & T200834 PC2 - (Con. 06 LMP)  
SHEET: 17 OF 26  
APPROVED BY: Evie McGauley-Kennedy  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 27 June 2022

The old trench was 2.5m from the eastern boundary fence, some 4-5 meters from the pine tree T1 and 6-7m from the next pine tree T2 as confirmed by the client and his excavator operator (Greg Armstrong) who confirmed that the bucket used was 300mm to a depth of 750mm to lay down water power and telecom pipes at that time. This already excavated trench is shown on the plan as a **red line**. In those old days despite the old trench being dug close within the TPZ of the trees there is now no obvious observable signs or symptoms of distress or ill health to the trees in question.

The current proposal is to extend the trench to service the new five units – as shown on the plan above in the **blue line**. Because most of the trench had already been pre-excavated in 2017, the remaining section to be done along the eastern boundary is the length from the end of the red line to the end of the blue line, which is approx. 18m in length. And the length to be done along the western boundary will be about 15 meters from the existing pit and the total length is also approx. 18m.



For the Installation of any underground utility services including telecommunication, electricity, gas, water/sewer/drainage/pits **inside the TPZ must** be undertaken using root sensitive non-destructive techniques. For the installation **outside the TPZ** there is no need to use such similar non-destructive techniques, normal open-cut-trenching excavation is acceptable outside the TPZ.



All underground utilities **within the TPZ area** of any protected tree, must be installed in **BORED/DRILLED** conduits or tunnels at least 1m below ground surface level using industry-standard boring/drilling tools, and **NOT** by open-cut trench installation. There are specialist contractors with the proper equipment to conduct this task.

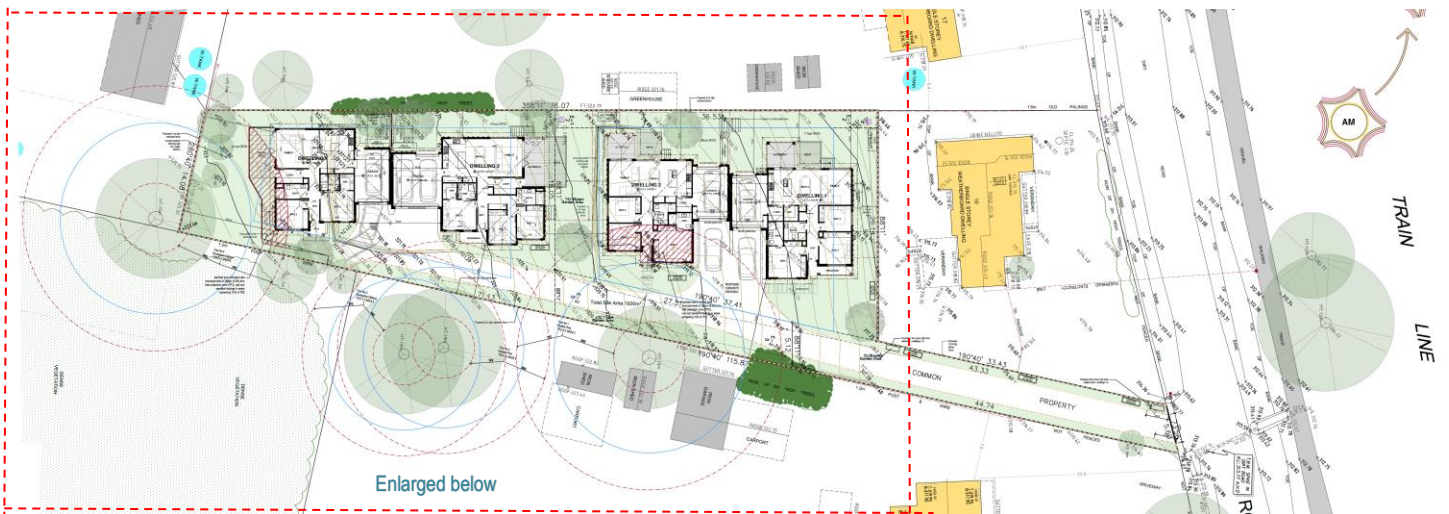


**EXTRA RFI INFORMATION BY COUNCIL (SEPT 15, 2021)**

Council has asked for the report to be updated to include the following information to be included in the new plan

**“any tree TPZ impacted by the new plans and the details of cut/fill, the driveway, hard landscaping/paving etc.”**

The following plan has subsequently been revised updated to include the above information requested by the council to be included:



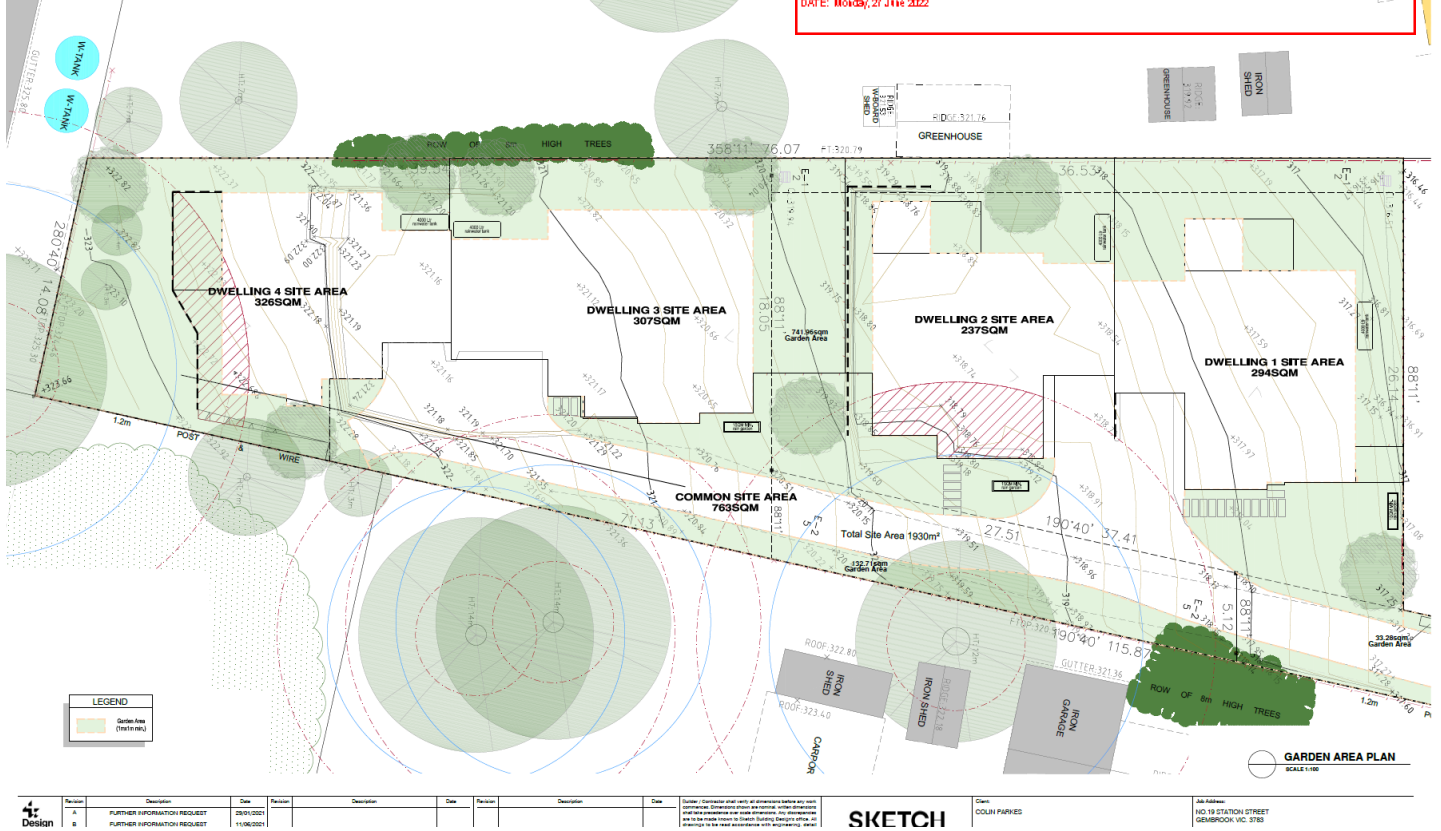


As there is no TPZ area encroachment that is over 10% which is the allowed limit by AS4970-2009, therefore I am satisfied with the final plan provided above.

For any ' cut/fill, the driveway, hard landscaping/paving etc' - driveway surface shall use porous permeable material and asphalt has been proposed by the client as the preferred driveway material which is acceptable.

The following landscape plan shows the garden landscaping details requested by the council:

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T200834 PC 1 - (Con. 05 WMP) & T200834 PC2 - (Con. 06 LMP)  
SHEET: 19 OF 26  
APPROVED BY: Evie McGauley-Kennedy  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 27 June 2022



• CONCLUSION & RECOMMENDATIONS

The current site condition already has a dug trench excavated years ago which is in the middle of the existing driveway. It was done in 2017 with Cardinia Council permit:

The old trench was 2.5m from the eastern boundary fence, some 4-5 meters from the pine tree T1 and 6-7m from the next pine tree T2 as confirmed by the client and his excavator operator (Greg Armstrong) who confirmed that the bucket used was 300mm to a depth of 750mm to lay down water power and telecom pipes at that time. This already excavated trench is shown on the plan as a **red line**. **In those old days despite the old trench being dug close within the TPZ of the trees there is now no obvious observable signs or symptoms of distress or ill health to the trees in question.**

**The current proposal is to extend the trench to service the new five units – as shown on the plan in the blue line.** Because most of the trench had already been pre-excavated in 2017, the remaining section to be done along the eastern boundary is the length from the end of the red line to the end of the blue line, which is approx. 18m in length. And the length to be done along the western boundary will be about 15 meters from the existing pit and the total length is also approx. 18m.

For the Installation of any underground utility services including telecommunication, electricity, gas, water/sewer/drainage/pits **inside the TPZ must** be undertaken using root sensitive non-destructive techniques. For the installation **outside the TPZ** there is no need to use such similar non-destructive techniques, normal open-cut-trenching excavation is acceptable outside the TPZ.

All underground utilities **within the TPZ area** of any protected tree, must be installed in **BORED/DRILLED** conduits or tunnels at least 1m below ground surface level using industry-standard boring/drilling tools, and **NOT** by open-cut trench installation. There are specialist contractors with the proper equipment to conduct this task.

Trees outside the site are to be protected as per AS4970-2009.

APPROVED AMENDED PLAN  
 PLANNING AND ENVIRONMENT ACT 1987  
 CARDINIA PLANNING SCHEME  
 PERMIT No.: T200834 PC 1 - (Con. 05 WMP) & T200834 PC2 - (Con. 06 LMP)  
 SHEET: 21 OF 26  
 APPROVED BY: Evie McGauley-Kennedy  
 CARDINIA SHIRE COUNCIL  
 DATE: Monday, 27 June 2022

## STRUCTURAL ROOT ZONE (SRZ) AND TREE PROTECTION ZONE (TPZ)

SRZ is the distance calculated from AS4970-2009 formula:  $R_{(SRZ)} = (D \times 50)^{0.42} \times 0.64$  (P.13). Construction should not be conducted within a tree's SRZ.

TPZ is the radial distance equivalent to 12 times a tree's DBH (Diameter at Breast Height measured at 1.4m above ground level) according to AS4970:2009 "Tree protection on development sites".

Up to 10% TPZ area encroachment is allowed under AS4970:2009. Encroachment is defined in AS4970-2009 as "excavation, compacted fill and machine trenching". If proposed encroachment is greater than 10% of the TPZ, detailed root investigation by non-destructive methods should be carried out (by hand digging, ground penetration radar, hydro or air knife excavation methods) to determine root distribution pattern and root density to the satisfaction of the project arborist that the tree will remain viable. The area lost to encroachment must be compensated for elsewhere and contiguous with the TPZ.

Crossing and driveway and carport construction within TPZ/SRZ shall use porous permeable paving materials to allow air and water infiltration into the subsoil stratum for roots. Such construction must be of non-excavation method - above grade that does not damage the roots of protected trees.

Underground pipes conduits channels etc for utility services if located in the TPZ must be laid by tunneling method and NOT by open cut trench excavation.

- Physical damage to tree trunk, branches and bark by impact, fire or tearing.

**A protective fence of adequate construction** around each protected tree's TPZ shall be erected and maintained throughout construction. Operators of tall machinery (eg mobile cranes, forklifts or similar equipment) working in the vicinity of the tree should take special care not to cause collision damage to the tree branches overhead.

A strong sturdy chain-link wire fence supported by star droppers and tied with reflective warning tapes would be acceptable as an adequate protective fence for this purpose. This fenced-off area shall be known as the TPZ. The ground surface of the TPZ shall be mulched and irrigated, and a warning sign displayed on the fence to ward off potential intruders and unauthorized personnel. The protective fence may only be taken down for the duration to facilitate authorized construction works inside the TPZ, but must be reinstated at works completion at the end of the day.

Any tree pruning, canopy uplifting or branch removal must be performed by a skilled arborist to meet approved arboricultural standards as per AS 4373-2007 "Pruning of amenity trees".

- Root damage

Root damage is commonly caused by soil excavation, cut and fill, soil grade reduction, trenching or other earthworks. It is critically important not to induce any soil level changes around the protected tree, especially within the tree's TPZ. An approved arboriculturist (the project arborist) should be consulted, and be present on site to supervise any earthworks within the TPZ of the protected tree.

- Soil aeration

Soil aeration deprivation may be caused by soil level buildup, soil compaction and waterlogging. Anoxic or hypoxic soils will kill tree roots, leading to tree mortality. No soil dumping, soil fill & stockpile, soil compacting, blockage of natural drainage patterns and the like should be allowed within the tree's TPZ.

APPROVED AMENDED PLAN  
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PERMIT No.: T200834 PC 1 - (Con. 05 WMP) & T200834 PC2 - (Con. 06 LMP)  
SHEET: 22 OF 26  
APPROVED BY: Evie McGauley-Kennedy  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 27 June 2022

- Soil water content changes

Soil water content changes in both extremes of water deprivation or waterlogging can adversely affect tree health and survival.

Site works that alter natural water table level, water flow, soil water infiltration, retention or drainage should not be permitted.

- Soil compaction

Soil compaction by construction machinery can adversely affect soil physical properties, eg porosity, aeration, water retention, soil strength etc which in turn would affect root growth and tree health. Planks or rumble boards should be placed over mulched soil surfaces to reduce the compaction pressure of machinery tyres on soil surfaces.

- Spilling or dumping of building materials

Spillage or dumping of building materials (eg lime, cement, concrete etc) or other chemicals (acids, petrol, oil, herbicides etc) is harmful to tree roots and can lead to tree mortality. Building materials or other toxic materials should not be stored close to or within the critical root zone of the tree. Any spillage should be cleaned up immediately and reported to the project manager.

APPROVED AMENDED PLAN  
 PLANNING AND ENVIRONMENT ACT 1987  
 CARDINIA PLANNING SCHEME  
 PERMIT No.: T200834 PC 1 - (Con. 05 WMP) & T200834 PC2 - (Con. 06 LMP)  
 SHEET: 23 OF 26  
 APPROVED BY: Evie McGauley-Kennedy  
 CARDINIA SHIRE COUNCIL  
 DATE: Monday, 27 June 2022

**EXPLANATION NOTES****SIZE DIMENSIONS:**

DBH (Diameter Breast Height) is a measurement of trunk diameter taken at 1.4m above ground level.  
 Girth is circumference measured at 1.4m above ground level.

For multiple trunk trees,  $DBH_T = \{ (DBH_1)^2 + (DBH_2)^2 + (DBH_3)^2 \}^{1/2}$

Canopy Spread is a measurement of canopy diameter measured from edge-to-edge of canopy drip-line.

Height is a measurement of the tree's height by clinometer.

Tree Protection Zone (TPZ) is estimated as 12 times the tree trunk DBH as per AS 4970:2009 'Protection of Trees on Development Sites' – it is a radius distance from tree trunk base

Structural Root Zone (SRZ) is estimated as per AS 4970:2009 'Protection of Trees on Development Sites' – it is a radius distance from tree trunk base

**VIGOUR/HEALTH:**

The health condition of the tree is classified as **Very Good, Good, Fair, Poor, Moribund/Dead**.

These observations are based on factors such as physical damage, broken branches, scars, root damage, rotten cavities, visible fungal bodies, branches dieback, deadwood, branch stubs, observable diseases or insect damage/infestation, foliar colour and density of the canopy, growth extension over the last year etc.

**Vigour/Health:**

Category	Description
Very Good	Outstanding specimen. Full & balanced canopy. Good shape and form. Foliage dense, entire with good colour, no pest/disease damage. No dieback or deadwood. Excellent growth indicators, eg extension growth.
Good	Canopy full, may be slightly asymmetrical. Foliage dense, entire with good colour, minimal pest/disease damage. Negligible quantity of deadwood (<10%). Good growth indicators, eg extension growth.
Fair	Canopy may be unbalanced. Foliage density thin, generally with good colour, some discoloration may be present. Minor pest or disease damage present. (Typical for species in location). Minor quantity of deadwood (<30%).
Poor	Major quantity of deadwood & dead/broken limbs (>30%). Foliage density thin & sparse, may be severely defoliated, wilting, chlorotic or necrotic, may have excessive epicormic or basal sprout growth. Serious pest/disease damage, and stress level leading to tree decline.
Dead Moribund	Tree is moribund or dead, totally defoliated or no live-foliage and green bark on the tree. Bark may be peeling off trunk-branch.

**STRUCTURE:**

The structure of the tree is classified as **Very Good, Good, Fair, Poor, Dead**.

These observations are based on factors such as canopy balance and symmetry, straight or leaning trunk, single or multiple trunks, bifurcated codominants with included bark, risk of branch drop or tree collapse, presence of decay in trunk or roots, evidence of instability etc.

**Structure:**

Category	Description
Very Good	Excellent branch attachment, no structural defects. Trunk straight, sound and solid, with no exposed wounds, cavities and decay. No damage to roots, and good root buttressing. Good trunk and scaffold branch taper. No branch over extension.
Good	Good branch attachment with minor structural defects. Trunk straight, sound, may show minor non-hazard wounding. No damage to roots, with good buttressing.
Fair	Some minor structural defects and/or minor damage to trunk. Regenerated crown after severe pollarding. Bark torn and missing on main trunk or branches. Cavities and decay may be present. May have minor damage to roots not threatening tree stability. May have slight leaning and slightly lopsided canopy.
Poor	Major structural defects eg trunk bifurcation with included bark, cracked or split branches, pollarded canopy not regenerated, trunk/branch damage and/or missing bark, large rotten cavities, girdling or damaged roots that destabilize the tree. Root buttress not visible above ground. Serious lean, not straight growing. Canopy halved and lopsided.
Dead	Dead tree poses imminent risk or high hazard risk

**SHAPE/FORM:**

The shape and form of the tree is classified as **Good, Fair, Poor**.

These observations are based on factors such as canopy shape, balance and symmetry, straight or leaning trunk, single or multiple trunks.

Category	Description
Good	Single upright straight tree trunk. No leaning. Well-balanced full density symmetrical canopy.
Fair	Multiple trunks. Tree with minor leaning (<30 degrees off vertical). Slightly lopsided unbalanced canopy. Regenerated canopy after lopping/pollarding.
Poor	Tree trunk with serious leaning (>30 degrees off vertical), tree trunk with kinking, twisting, Canopy lopped/pollarded. Canopy halved, badly leaning and/or lopsided. Tree top cut off for overhead powerlines clearance or top dieback, or blown off in strong winds.

**SIGNIFICANT TREES**

This rating is to be used to rate the significance of trees in the area.

Trees that are of State or National significance would normally be registered by The National Trust or Heritage Council and would be identified as such.

Local Councils planning scheme may have separate listings of Significant Trees in the Municipality.

Trees may be considered as significant if they fall into one or more of the following categories:-

- ◆ Exceptional size and/or age
- ◆ Rare or threatened/endangered species.
- ◆ Unusual shape or form
- ◆ Aboriginal cultural value
- ◆ Heritage or Historic value
- ◆ Exceptional example of a species.
- ◆ Genetical Biodiversity Value
- ◆ Outstanding feature in the landscape
- ◆ Habitat Value.

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T200834 PC 1 - (Con. 05 WMP) & T200834 PC2 - (Con. 06 LMP)  
SHEET: 25 OF 26  
APPROVED BY: Evie McGauley-Kennedy  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 27 June 2022

Generally trees are described according to their flowering and foliage amenity, greenery contribution, shade, shelter, screening, or being classified as noxious weeds or environmental weeds.

### USEFUL LIFE EXPECTANCY (ULE)

<u>Long</u>	Over 50 years
<u>Median</u>	10-50 years
<u>Short</u>	Under 10 years

### RETENTION

<u>High</u>	Retention recommended
<u>Median</u>	Retention/Removal Optional
<u>Low</u>	Removal recommended
<u>Remove</u>	Removal a matter of necessity or urgency



Dr Peter Yau *MSc(Oxon) PhD(Melb) CBiol FRSB*  
Adjunct Professor – Faculty of Design & Environment THEi (HK)  
Arboricultural Consultant

20 April 2021



**PERSON PREPARING THIS TREE MANAGEMENT PLAN**

- (a) I (Dr Peter Yau) am the Arboriculturist who prepared this report.
- (b) My qualifications include:
- Bachelor of Science (Honours) in Botany & Biochemistry 1969 – Hong Kong University, Hong Kong
  - Master of Science (Forestry-Arboriculture) 1972 – Oxford University England
  - Doctor of Philosophy (Forestry – Arboriculture) 1989 – Melbourne University
  - Graduate Diploma in Business Administration 1992 – Swinburne University of Technology, Victoria
  - Chartered Biologist (CBiol) & Fellow of Royal Society of Biology (FRSB) UK
  - Former Member of Editorial Board 1996-2009 – **Arboricultural Journal** (International Journal of Urban Forestry) Arboricultural Association of UK

My professional experience in arboriculture includes:

- 1976-1995 Council Arboriculturist of the Melbourne City Council, responsible for the policy and management issues relating to the planting, maintenance, removal, transplanting, protection, preservation of all trees within the municipal district of the City of Melbourne. Also appointed to membership of Victorian state government task force for Elm tree diseases.
- 1995- now Arboricultural Consultant to public and private sector clients -
  - Government House of Victoria
  - Energy & Water Ombudsman of Victoria
  - Municipal Councils in Victoria and NSW
  - State Government VicUrban (Former URLC)
  - Private property developers, architects, planners, lawyers etc
  - Hong Kong – Leisure & Cultural Services Department (LCSD), Agriculture Forestry & Conservation Department (AFCD), MTR Corporation
  - Appointed Ex-Officio Member of Expert Panel of Tree Management, Landscape, Greening & Tree Management Section, Development Bureau, Hong Kong Government
  - Appointed Member of Arboriculture & Horticulture Industry Development Advisory Committee, Landscape, Greening & Tree Management Section, Development Bureau, Hong Kong Government

My academic experience in arboriculture includes:

- Since 2018 Adjunct Professor – Faculty of Environment & Design, THEi(HK)
- Since 1982 Lecturer in Arboriculture – Burnley College, University of Melbourne
- Since 1990 External Examiner of Post-Graduate Research Degree Thesis – University of Melbourne
- I have given keynote addresses and presentations to national and international conferences, workshops and seminars, and I have published peer-reviewed papers in international journals in arboriculture. I have written critique reviews on other scientists' books, publications and papers.

17 November 2021

Tim Norton  
Hansen  
4/136 Exhibition Street  
MELBOURNE VIC 3000

tnorton@hansenpartnership.com.au

Dear Tim,

**Application No.:** T200834  
**Property No.:** 5000024684  
**Address:** L2-3 PS804664Q, 19A & 19B Station Road, Gembrook VIC 3783  
**Proposal:** Development of the land for four (4) dwellings, earthworks and removal of a restrictive covenant PS804664Q (from both Lots 2 and 3 PS804664Q)

I refer to the above planning permit application and wish to advise the Council has considered the application, including all objections. On balance it has been determined to issue a Notice of Decision to Grant a Permit, a copy of which is attached.

Please note that the Notice of Decision **is not** a planning permit, but sets out the conditions on which Council consents to a permit being issued.

Your attention is drawn to the appeal provisions on the back of the Notice, in particular:

1. You may seek a Review of any condition in the Notice of Decision within 60 days of the date of issue.
2. An objector may seek a Review of the decision to grant a permit, or the proposed conditions of the permit, within 28 days of the date of issue.

Information about Applications for Review may be obtained from the Victorian Civil and Administrative Tribunal, Planning Division, 55 King Street, Melbourne, who can be contacted on **1300 01 8228**.

If an Application for Review is not lodged, a permit will be issued after Council has been advised by the Tribunal that no applications have been lodged.

If you have any further queries regarding this matter, please contact Council's Development Services department on **03 5943 4511** or [mail@cardinia.vic.gov.au](mailto:mail@cardinia.vic.gov.au)

Yours faithfully,



**Evangeline McGauley-Kennedy**  
Senior Statutory Planner

# NOTICE OF DECISION TO GRANT A PERMIT

**Planning Scheme:** Cardinia Planning Scheme  
**Responsible Authority:** Cardinia Shire Council  
**PLANNING PERMIT NUMBER:** T200834  
**ADDRESS OF THE LAND:** L2 & L3 PS804664Q, 19A & 19B  
 Station Road, Gembrook VIC  
 3783

**THE RESPONSIBLE AUTHORITY HAS DECIDED TO GRANT A PERMIT**

**THIS PERMIT WILL ALLOW:** Development of the land for four (4) dwellings, earthworks and removal of a restrictive covenant PS804664Q (from both Lots 2 and 3 PS804664Q)

**THE FOLLOWING CONDITIONS WILL APPLY TO THE PERMIT:**

---

1. This permit (relating to buildings and works) does not come into effect until the restrictions contained in Restrictive Covenant PS804664Q are removed from Lots 2 and 3 in the Register of Titles in accordance with the certified plan of removal.

Removal of covenant

2. Before the plan of removal of restriction is certified, a plan in accordance with the *Subdivision Act 1988* must be submitted to and approved by the Responsible Authority. The plan must show the following:
  - a. The three (3) restrictions contained within Sheets 3 and 4 in Covenant PS804664Q on L2 and L3 PS804664Q, Certificate of Title Volume 11955 Folio 140 and Volume 11955 Folio 141 as removed.
3. The certified plan must be lodged with the Office of Titles for registration in accordance with Section 23 of the *Subdivision Act 1988*.
4. The permit holder must notify the Responsible Authority on the lodgement of the removal of the registered restrictive covenant with the Office of Titles.

Development plans required

5. Before the development starts, plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale and fully dimensioned. The plans must be generally in accordance with the amended development plans prepared by Sketch Building Design, Issue C, submitted with the application but modified to show:
  - a. Tree Protection Plan:
    - i. The location of tree protection fencing that will protect vegetation including neighbouring trees from construction impacts.
    - ii. The location and dimensions of the driveway. The plan must also detail the material and method that will be used to construct the driveway. The proposed driveway must be constructed from permeable materials such as crushed rock and supportive materials, or suitable hard surfacing materials (to the satisfaction of Council) and be designed and constructed for a load limit of at least 15 tonnes and be of all-weather construction. No excavation works can occur for the driveway that will damage nearby tree roots.
    - iii. The location of any underground services within retained tree protection zones installed using boring not trenching.
  - b. Elevation plans:
    - i. Additional north facing windows on the northern elevations of Dwellings 1, 3 and 4 to capable of providing additional northern daylight to the living areas and bedrooms of these dwellings.

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**Date of Notice:** 15 November 2021

**Signature for the Responsible Authority:**  
**Page 1 of 7**



# NOTICE OF DECISION TO GRANT A PERMIT

*Planning Scheme:* Cardinia Planning Scheme  
*Responsible Authority:* Cardinia Shire Council  
**PLANNING PERMIT NUMBER:** T200834  
**ADDRESS OF THE LAND:** L2 & L3 PS804664Q, 19A & 19B  
 Station Road, Gembrook VIC  
 3783

**THE RESPONSIBLE AUTHORITY HAS DECIDED TO GRANT A PERMIT**

**THIS PERMIT WILL ALLOW:** Development of the land for four (4) dwellings, earthworks and removal of a restrictive covenant PS804664Q (from both Lots 2 and 3 PS804664Q)

**THE FOLLOWING CONDITIONS WILL APPLY TO THE PERMIT:**

- 
- ii. The west and northern elevations of the dwellings amended to show compliance with Standard B22 (Overlooking).
  - iii. The east elevations of Dwellings 1 and 3 amended to show compliance with Standard B22 (Overlooking).
  - c. Site plans:
    - i. The 2.1m high paling fencing along shown on the eastern boundary along the common driveway to be extended to the rear boundary of Lot 1. The remainder of the eastern boundary fencing to be open/rural style fencing.
    - ii. The location and dimensions of the driveway and any other measures in accordance with the Tree Protection Plan.
  - d. A Waste Management Plan to the satisfaction of the Responsible Authority. The plan must include but is not limited to:
    - i. A scaled bin presentation, including areas for hard rubbish collection.
    - ii. The manner in which waste will be stored and collected including the type, size and number of containers.
    - iii. Provision for on-site storage.
    - iv. Details of how waste collection is to be performed.
    - v. The size of the collection vehicle and the frequency, time and point of collection.
  - 6. Before the development starts, an amended landscape plan prepared by a person suitably qualified and experienced in landscape design to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plan will be endorsed and will then form part of the permit. The plan must be drawn to scale with dimensions and an electronic copy in an approved format must be provided. The landscaping plan must be generally in accordance with the plan submitted with the application prepared by F & G Design dated 18/03/21 but updated to reflect the plans referred to in Condition 1 and to show:
    - e. A survey (including botanical names) of all existing vegetation to be retained and/or removed.
    - f. Buildings and trees (including botanical names) on neighbouring properties including their Tree Protection Zones within three metres of the boundary in accordance with the updated Arboricultural Report and Arboricultural Impact assessment prepared by PSY Inv Pty Ltd dated 20/04/21 and amended following the submission of amended plans prepared by Sketch Building Design, Issue C.
    - g. Details of surface finishes of pathways and driveways required by Condition 5(a)(ii) of this permit.
    - h. Details of boundary fencing.

**Date of Notice:** 15 November 2021

**Signature for the Responsible Authority:**  
 Page 2 of 7



# NOTICE OF DECISION TO GRANT A PERMIT

*Planning Scheme:* Cardinia Planning Scheme  
*Responsible Authority:* Cardinia Shire Council  
**PLANNING PERMIT NUMBER:** T200834  
**ADDRESS OF THE LAND:** L2 & L3 PS804664Q, 19A & 19B  
 Station Road, Gembrook VIC  
 3783

**THE RESPONSIBLE AUTHORITY HAS DECIDED TO GRANT A PERMIT**

**THIS PERMIT WILL ALLOW:** Development of the land for four (4) dwellings, earthworks and removal of a restrictive covenant PS804664Q (from both Lots 2 and 3 PS804664Q)

**THE FOLLOWING CONDITIONS WILL APPLY TO THE PERMIT:**

- i. A planting schedule of all proposed trees, shrubs and ground covers, including botanical names, common names, pot sizes, sizes at maturity, and quantities of each plant.
- j. Landscaping and planting within all open areas of the subject land.
- k. A minimum of one (1) canopy tree capable of reaching a minimum of 8m mature height (minimum two (2) metres tall when planted) in the following areas:
  - i. The rear of each dwelling;
  - ii. Within the space in front of Dwelling 1 and between Dwelling 2 and 3; and
  - iii. Within the area at the end of the driveway.
- l. Landscaping capable of softening the expanse of the driveway provided along the length of the common driveway.
- m. Landscaping capable of providing an effective and permanent visual screen to the properties to the north along the length of the north/ north-eastern title boundary.
- n. Plantings within the front setback of all other dwellings.
- o. Vegetation provided between driveways or directly adjacent to the access to be a maximum of 150mm in height.

All species selected must be to the satisfaction of the Responsible Authority and should be drought tolerant and proven hardy cultivars suitable to the local conditions. All plantings are to have regard to any easements on site. Plantings are not to impact sight lines for vehicles or pedestrians.

7. Before the development starts drainage plans must be submitted to and approved by the Responsible Authority. The plans must show the provision of a stormwater detention system. The stormwater detention system will become the responsibility of the property owner or body corporate to maintain to the satisfaction of the Responsible Authority.

Prior to commencement (Tree Protection Fencing):

8. Before works start, a fence must be erected around any tree shown for retention in the locations shown on the endorsed plan. This fence will protect the trees by demarcating the tree protection zone and must be erected at a radius of  $12 \times$  the diameter at a height of 1.3 metres to a maximum of 15 metres but no less than 2 metres from the base of the trunk of the trees, excepting the approved area of encroachment for construction as shown on endorsed plans to the satisfaction of the Responsible Authority. The protection fence must be constructed of chain mesh or similar to the satisfaction of the Responsible Authority. The protection fence must remain in place until all works are completed to the satisfaction of the Responsible Authority. Except with the written consent of the Responsible Authority, within the tree protection zone, the following are prohibited:
  - a. vehicular access.
  - b. trenching or soil excavation.
  - c. storage or dumping of any soils, materials, equipment, vehicles, machinery or waste products.

**Date of Notice:** 15 November 2021

**Signature for the Responsible Authority:**



# NOTICE OF DECISION TO GRANT A PERMIT

*Planning Scheme:* Cardinia Planning Scheme  
*Responsible Authority:* Cardinia Shire Council  
**PLANNING PERMIT NUMBER:** T200834  
**ADDRESS OF THE LAND:** L2 & L3 PS804664Q, 19A & 19B  
 Station Road, Gembrook VIC  
 3783

**THE RESPONSIBLE AUTHORITY HAS DECIDED TO GRANT A PERMIT**

**THIS PERMIT WILL ALLOW:** Development of the land for four (4) dwellings, earthworks and removal of a restrictive covenant PS804664Q (from both Lots 2 and 3 PS804664Q)

**THE FOLLOWING CONDITIONS WILL APPLY TO THE PERMIT:**

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- d. entry and exit pits for underground services.
- e. any other actions or activities that may result in adverse impacts to retained native vegetation.

General:

9. The layout of the site and the size of the proposed buildings and works, as shown on the approved plan/s, must not be altered or modified without the consent in writing of the Responsible Authority
10. Once the development has commenced, it must be continued and completed to the satisfaction of the Responsible Authority.
11. The exterior colour and cladding of the development must not result in any adverse visual impact on the environment of the area and all external cladding and trim of the development must be of a non-reflective nature in accordance with the endorsed plans.
12. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the Responsible Authority and used for no other purpose. Any dead, diseased or damaged plants are to be replaced.
13. All residential waste must be stored within the specified bin storage area for each dwelling. Garbage bins are to be placed on the street for collection in a tidy manner on the appropriate waste collection day for the area.
14. Any external lighting must be designed, baffled and located so as to not detrimentally affect the adjoining land to the satisfaction of the Responsible Authority.
15. The dimensions and layout of the proposed access and parking areas must be in accordance with the requirements of Clause 52.06 of the Cardinia Planning Scheme.
16. All pipes, fixtures, fittings and vents servicing any building on the subject land must be concealed in service ducts or otherwise hidden from view to the satisfaction of the Responsible Authority.

Engineering:

17. Earthworks must be undertaken in a manner that minimises soil erosion. Exposed areas of soil must be stabilised to prevent soil erosion. The time for which soil remains exposed and unestablished must be minimised to the satisfaction of the Responsible Authority.
18. Sediment control measures must be undertaken during construction to the satisfaction of the Responsible Authority to ensure that the development subject land is adequately managed in such a way that no mud, dirt, sand, soil, clay or stones are washed into or allowed to enter the stormwater drainage system.
19. Stormwater must not be discharged from the subject land other than by means of an underground pipe drain discharged to an outlet in the street or to an underground pipe drain to the satisfaction of the Responsible Authority
20. Stormwater works must be provided on the subject land so as to prevent overflows onto adjacent properties.

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Prior to Occupancy:

21. The development approved by this permit must not be occupied until the following works have been completed to the satisfaction of the Responsible Authority:
- a. Fixed privacy screens and/or obscured glazing (not adhesive film) in accordance with the endorsed plans designed to limit overlooking as required Standard B22 of Clause 55.04-6 must be installed to the satisfaction of the Responsible Authority and maintained to the satisfaction of the Responsible Authority thereafter for the life of the building.
  - b. Any new fencing shown on the endorsed plans must be constructed at the cost of the owner/permit holder in accordance with the endorsed plans.
  - c. The landscaping works shown on the endorsed plans must be carried out and completed to the satisfaction of the Responsible Authority unless an alternative date is agreed to in writing by the Responsible Authority.
  - d. All proposed areas set aside on the approved plan/s for access, circulation and car parking must be constructed with in accordance with the endorsed plans. They must be constructed with concrete, asphalt or other approved surfacing material, drained and the parking areas delineated to the satisfaction of the Responsible Authority. Once constructed, these areas must be maintained to the satisfaction of the Responsible Authority.
  - e. A residential standard concrete vehicle crossing/s as shown on the approved plans must be constructed to the approval and satisfaction of the Responsible Authority.
  - f. Any redundant existing vehicle crossing must be removed and the nature strip and kerb and channel reinstated at the cost of the owner and to the satisfaction of the Responsible Authority.
  - g. The premises are connected to a reticulated water supply, sewerage, drainage and underground electricity to the requirements of the relevant servicing authority.
  - h. Power and telephone lines to all new dwellings must be placed underground from the main point of service supplied by the relevant authority outside the boundaries of the subject land.
  - i. A bin storage area must be provided for each dwelling and must be located so as not to be detrimental to the visual amenity of the neighbourhood to the satisfaction of the Responsible Authority.
  - j. A mail box must be provided to each dwelling to the satisfaction of the Responsible Authority and Australia Post.
  - k. A clothesline must be provided for each dwelling and must be located so as not to be detrimental to the visual amenity of the neighbourhood to the satisfaction of the Responsible Authority.
  - l. Lighting must be provided near the front entrance of each dwelling to the satisfaction of the Responsible Authority.

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**Expiry:**

22. This permit for the development of land expires if-

- a. the development does not start within **two (2) years** after the issue of the permit; or
- b. the development is not completed within **four (4) years** after the issue of the permit.

In accordance with Section 69 of the *Planning and Environment Act 1987*, an application may be submitted to the Responsible Authority for an extension of the periods referred to in this condition.

23. The permit for the removal of a covenant will expire if:

- a. The removal of the restrictive covenant is not registered within **two (2) years** after the issue of the permit.

In accordance with Section 69 of the *Planning and Environment Act 1987*, an application may be submitted to the Responsible Authority for an extension of the periods referred to in this condition.

**Notes:**

- i. Council recommends that prior to activating this permit, a registered building surveyor be contacted to ensure the development (including boundary fencing) complies with the Building Act and Building Regulations.
- ii. This application has been assessed against Clause 55 of the Cardinia Planning Scheme.
- iii. A 'Vehicle Crossing Permit' must be obtained from Council prior to the commencement of any works associated with the proposed vehicle crossing.
- iv. Prior to commencement, a building permit may be required for the proposed boundary fences exceeding two (2) metres in height.
- v. Prior to commencement of the proposed use a Building Permit must be obtained for any retaining wall exceeding 1.0 metres in height.

**Drainage notes:**

- vi. As the development has an impervious ratio greater than 35%, the developer shall engage the services of a suitably experienced Engineer to design a stormwater detention system that will reduce the intensity of the storm water discharge entering Council's drainage system, i.e.: a detention system. The storm water detention system shall provide for the same five (5) year ARI peak discharge as that for a standard house lot with no storm water detention. A standard house lot is assumed to have a fraction impervious area of 35%. Calculations and a plan shall be submitted to Council for approval prior to construction. The storm water detention system must be constructed prior to the occupation of the proposed development.

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Date of Notice: 15 November 2021

Signature for the Responsible Authority:  
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## IMPORTANT INFORMATION ABOUT THIS NOTICE

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### WHAT HAS BEEN DECIDED?

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- a) The Responsible Authority has decided to grant a permit. The permit has not been issued.
- b) This notice sets out what the permit will allow and what conditions the permit will be subject to if issued.

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### WHAT ABOUT REVIEWS?

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#### FOR THE APPLICANT:

- a) The person who applied for the permit may apply for review of any condition in the notice of decision to grant a permit. The application for review must be lodged within 60 days of the giving of this notice.

#### FOR AN OBJECTOR:

- a) An objector may apply for review of the decision of the Responsible Authority to grant a permit. The application for review must be lodged within 28 days after the date of the notice of decision to grant a permit.
- b) If there is no application for review, a permit will be issued after 28 days of the date of the notice of decision to grant a permit.

#### FOR A RECOMMENDING REFERRAL AUTHORITY:

- a) A recommending Referral Authority may apply for review of the decision of the Responsible Authority:
  - i. to grant a permit, if that recommending Referral Authority objected to the grant of the permit; or
  - ii. not to include a condition on the permit that the recommending referral authority recommended.
- b) The application for review must be lodged within 21 days after the giving of this notice.
- c) If there is no application for review, a permit will be issued after 28 days of the date of the notice of decision to grant a permit.

#### FOR ALL APPLICATIONS FOR REVIEW:

- a) An application for review is lodged with the Victorian Civil and Administrative Tribunal.
- b) An application for review must be made on the relevant form which can be obtained from the Victorian Civil and Administrative Tribunal, and be accompanied by the applicable fee.
- c) An application for review must state the grounds upon which it is based.
- d) A copy of an application for review must be served on the Responsible Authority, each other party and each other person entitled to notice of the application for review under the *Planning and Environment Act 1987* and the *Victorian Civil and Administrative Tribunal Act 1998* within 7 days after lodging the application with the Victorian Civil and Administrative Tribunal.
- e) Details about applications for review and the fees payable can be obtained from the Victorian Civil and Administrative Tribunal.

Victoria Civil and Administrative Tribunal  
Planning List  
55 King Street, MELBOURNE VIC 3000  
Ph: 1300 01 8228  
Fax: (03) 9628 9789

# Due diligence checklist

## What you need to know before buying a residential property

Before you buy a home, you should be aware of a range of issues that may affect that property and impose restrictions or obligations on you, if you buy it. This checklist aims to help you identify whether any of these issues will affect you. The questions are a starting point only and you may need to seek professional advice to answer some of them. You can find links to organisations and web pages that can help you learn more, by visiting the [Due diligence checklist page on the Consumer Affairs Victoria website](https://www.consumer.vic.gov.au/duediligencechecklist) (<https://www.consumer.vic.gov.au/duediligencechecklist>).

## Urban living

### Moving to the inner city?

High density areas are attractive for their entertainment and service areas, but these activities create increased traffic as well as noise and odours from businesses and people. Familiarising yourself with the character of the area will give you a balanced understanding of what to expect.

### Is the property subject to an owners corporation?

If the property is part of a subdivision with common property such as driveways or grounds, it may be subject to an owners corporation. You may be required to pay fees and follow rules that restrict what you can do on your property, such as a ban on pet ownership.

## Growth areas

### Are you moving to a growth area?

You should investigate whether you will be required to pay a growth areas infrastructure contribution.

## Flood and fire risk

### Does this property experience flooding or bushfire?

Properties are sometimes subject to the risk of fire and flooding due to their location. You should properly investigate these risks and consider their implications for land management, buildings and insurance premiums.

## Rural properties

### Moving to the country?

If you are looking at property in a rural zone, consider:

- Is the surrounding land use compatible with your lifestyle expectations? Farming can create noise or odour that may be at odds with your expectations of a rural lifestyle.
- Are you considering removing native vegetation? There are regulations which affect your ability to remove native vegetation on private property.
- Do you understand your obligations to manage weeds and pest animals?

### Can you build new dwellings?

Does the property adjoin crown land, have a water frontage, contain a disused government road, or are there any crown licences associated with the land?

### Is there any earth resource activity such as mining in the area?

You may wish to find out more about exploration, mining and quarrying activity on or near the property and consider the issue of petroleum, geothermal and greenhouse gas sequestration permits, leases and licences, extractive industry authorisations and mineral licences.

## Soil and groundwater contamination

### Has previous land use affected the soil or groundwater?

You should consider whether past activities, including the use of adjacent land, may have caused contamination at the site and whether this may prevent you from doing certain things to or on the land in the future.

(04/10/2016)

## **Land boundaries**

### **Do you know the exact boundary of the property?**

You should compare the measurements shown on the title document with actual fences and buildings on the property, to make sure the boundaries match. If you have concerns about this, you can speak to your lawyer or conveyancer, or commission a site survey to establish property boundaries.

## **Planning controls**

### **Can you change how the property is used, or the buildings on it?**

All land is subject to a planning scheme, run by the local council. How the property is zoned and any overlays that may apply, will determine how the land can be used. This may restrict such things as whether you can build on vacant land or how you can alter or develop the land and its buildings over time.

The local council can give you advice about the planning scheme, as well as details of any other restrictions that may apply, such as design guidelines or bushfire safety design. There may also be restrictions – known as encumbrances – on the property's title, which prevent you from developing the property. You can find out about encumbrances by looking at the section 32 statement.

### **Are there any proposed or granted planning permits?**

The local council can advise you if there are any proposed or issued planning permits for any properties close by. Significant developments in your area may change the local 'character' (predominant style of the area) and may increase noise or traffic near the property.

## **Safety**

### **Is the building safe to live in?**

Building laws are in place to ensure building safety. Professional building inspections can help you assess the property for electrical safety, possible illegal building work, adequate pool or spa fencing and the presence of asbestos, termites, or other potential hazards.

## **Building permits**

### **Have any buildings or retaining walls on the property been altered, or do you plan to alter them?**

There are laws and regulations about how buildings and retaining walls are constructed, which you may wish to investigate to ensure any completed or proposed building work is approved. The local council may be able to give you information about any building permits issued for recent building works done to the property, and what you must do to plan new work. You can also commission a private building surveyor's assessment.

### **Are any recent building or renovation works covered by insurance?**

Ask the vendor if there is any owner-builder insurance or builder's warranty to cover defects in the work done to the property.

## **Utilities and essential services**

### **Does the property have working connections for water, sewerage, electricity, gas, telephone and internet?**

Unconnected services may not be available, or may incur a fee to connect. You may also need to choose from a range of suppliers for these services. This may be particularly important in rural areas where some services are not available.

## **Buyers' rights**

### **Do you know your rights when buying a property?**

The contract of sale and section 32 statement contain important information about the property, so you should request to see these and read them thoroughly. Many people engage a lawyer or conveyancer to help them understand the contracts and ensure the sale goes through correctly. If you intend to hire a professional, you should consider speaking to them before you commit to the sale. There are also important rules about the way private sales and auctions are conducted. These may include a cooling-off period and specific rights associated with 'off the plan' sales. The important thing to remember is that, as the buyer, you have rights.